

**AGENDA**  
**PLANNING COMMISSION PUBLIC HEARING/REGULAR MEETING**  
**CITY OF FARMINGTON HILLS**  
**MAY 16, 2024 @ 7:30 P.M.**  
**FARMINGTON HILLS CITY HALL – CITY COUNCIL CHAMBER**  
**31555 W. ELEVEN MILE ROAD, FARMINGTON HILLS, MICHIGAN 48336**  
Cable TV: Spectrum – Channel 203; AT&T – Channel 99  
YouTube Channel: <https://www.youtube.com/user/FHChannel8>  
[www.fhgov.com](http://www.fhgov.com) (248) 871-2540

1. Call Meeting to Order
2. Roll Call
3. Approval of Agenda
  
4. Public Hearing

A. **REZONING REQUEST ZR 3-3-2024**

LOCATION: West side of Middlebelt Road, just north of Astor Avenue  
PARCEL I.D.: 22-23-26-480-046  
PROPOSAL: Rezone one (1) parcel from P-1, Vehicular Parking to RA-4, One Family Residential zoning district  
ACTION REQUESTED: Recommendation to City Council  
APPLICANT: Rane Jappaya  
OWNER: 22595 Middlebelt, LLC

B. **REZONING REQUEST ZR 4-3-2024**

LOCATION: 27815 Middlebelt Road; two (2) parcels on west side of Middlebelt Road, between Orion Court and Twelve Mile Road  
PARCEL I.D.: 22-23-11-477- 014, and 109  
PROPOSAL: Rezone two (2) parcels from RC-2, Multiple Family Residential to B-1, Local Business zoning district  
ACTION REQUESTED: Recommendation to City Council  
APPLICANT: SkilkenGold Real Estate Development  
OWNER: HRA Farmington Hills, LLC

C. **AMEND PUD 1, 2021, INCLUDING REVISED SITE PLAN 54-2-2021**

LOCATION: 31525 Twelve Mile Road  
PARCEL I.D.: 22-23-15-201-270  
PROPOSAL: Conversion of hotel building into independent living facility in ES, Expressway Service zoning district  
ACTION REQUESTED: Recommendation to City Council  
APPLICANT: Farmington Hills Real Estate, LLC  
OWNER: Farmington Hills Real Estate, LLC

## 5. Regular Meeting

### A. LOT SPLIT 2, 2024 (FINAL)

LOCATION: 21308 Waldron Street  
PARCEL I.D.: 22-23-36-329-030  
PROPOSAL: Spilt one (1) parcel into two (2) parcels in RA-4, One Family Residential zoning district  
ACTION REQUESTED: Lot Split approval (final)  
APPLICANT: Mansoor Habib  
OWNER: Mansoor Habib

## 6. Approval of Minutes

[April 18, 2024, Special Meeting](#), and [April 18, 2024, Regular Meeting](#)

## 7. Public Comment

## 8. Commissioner/Staff Comments

## 9. Adjournment

Respectfully Submitted,

**Kristen Aspinall, Planning Commission Secretary**

### Staff Contact:

**Erik Perdonik, AICP**

**City Planner**

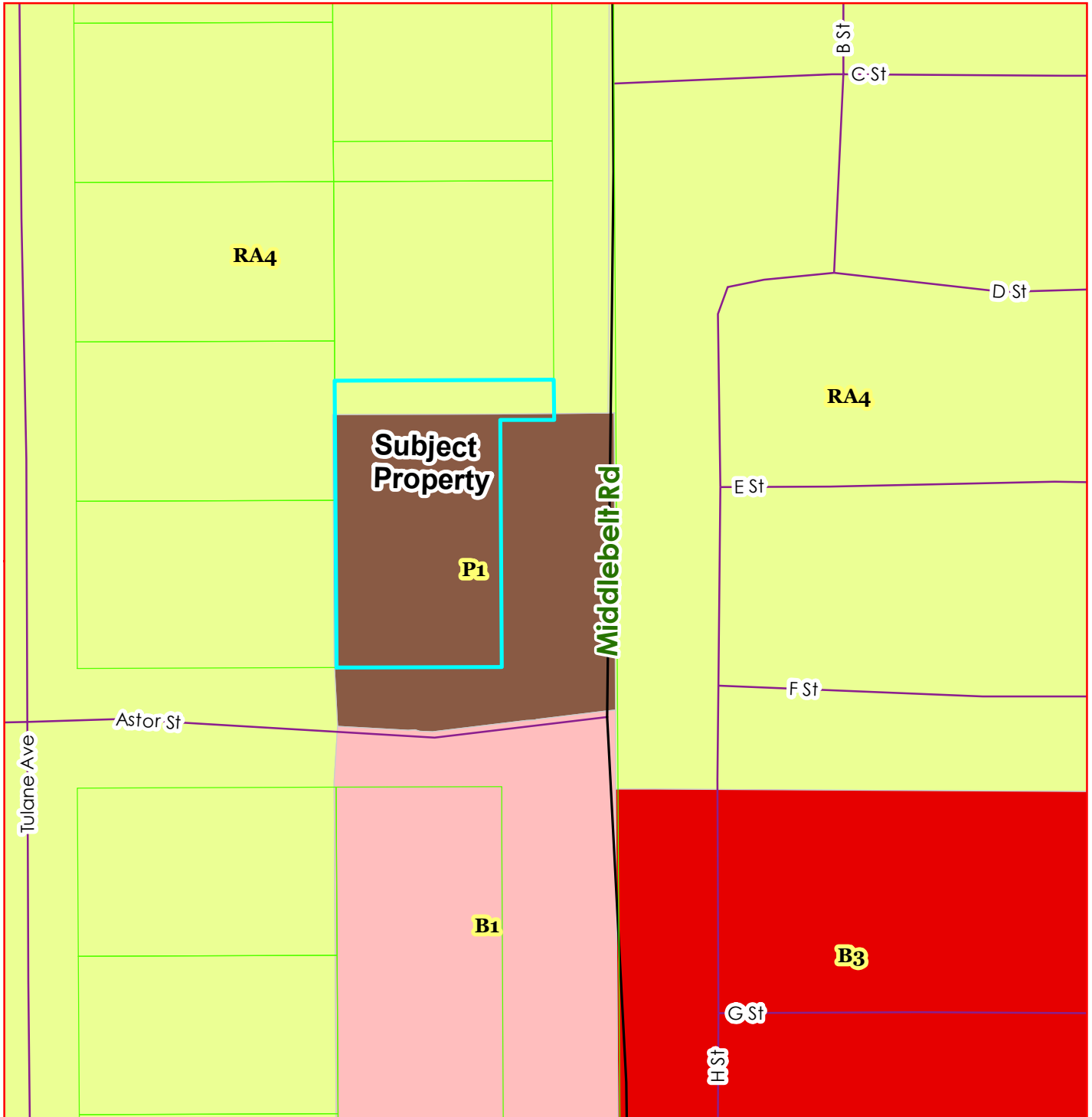
**Planning and Community Development Department**

**(248) 871-2540**

[eperdonik@fhgov.com](mailto:eperdonik@fhgov.com)

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at (248) 871-2410 at least two (2) business days prior to the meeting, wherein arrangements/accommodations will be made. Thank you.

**ZR 3-3-2024, W. side of Middlebelt Rd., just N. of Astor Ave.  
26-480-046  
Rezone from P-1 to RA-4**



<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid green; margin-right: 5px;"></span> Tax parcel</li> <li><span style="display: inline-block; width: 15px; border-bottom: 1px solid purple; margin-right: 5px;"></span> Minor roads</li> </ul>	<p><b>Zoning Districts</b></p> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #8B4513; margin-right: 5px;"></span> P-1 Vehicular Parking District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90EE90; margin-right: 5px;"></span> RA-4 One Family Residential District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFB6C1; margin-right: 5px;"></span> B-1 Local Business District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF0000; margin-right: 5px;"></span> B-3 General Business District</li> </ul>
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SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

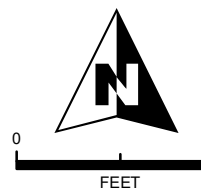
DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

ZR 3-3-2024, W. side of Middlebelt Rd., just N. pf Astor Ave.  
26-480-046  
Rezone from P-1 to RA-4



# Planning Division

- Tax parcel
- Minor roads



SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

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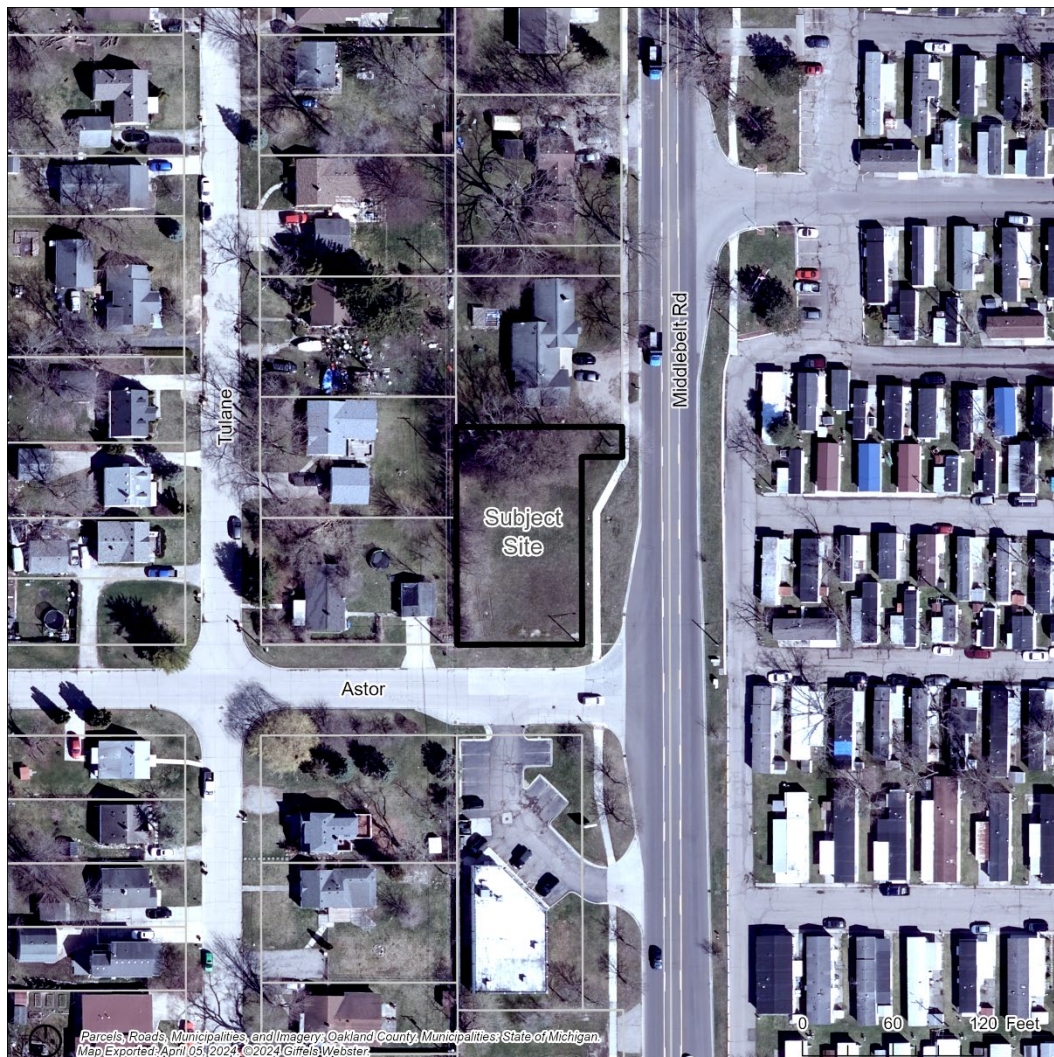
April 10, 2024

Planning Commission  
City of Farmington Hills  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# Rezoning Review

Case: ZR 3-3-2024  
Site: Middlebelt and Astor (23-26-480-046)  
Applicant: Rane Jappaya  
Plan Date: Received March 18, 2024  
Request: Rezone from P-1 to RA-4 for Residential use (duplex)

We have completed a review of the request for rezoning referenced above and a summary of our findings is below.



**SUMMARY OF FINDINGS**

**Existing Conditions**

1. **Zoning.** The subject property is 0.29 acres and currently split-zoned, with the vast majority of the site zoned P-1 Vehicular Parking District, and a small 20' x 110' area along the northern boundary zoned RA-4. It is located on the west side of Middlebelt Road, at the corner of Astor St.
2. **Existing Development.** The site is presently vacant. There is a sidewalk along the Middlebelt frontage.
3. **Adjacent Properties.** Zoning and use of adjacent properties is as follows:

Direction	Zoning	Land Use	Future Land Use Category
North	RA-4	Residential	Single Family Residential
East (across Middlebelt)	RA-4	Mobile Home Park	Multiple Family Residential
South (across Astor)	B-1	Convenience Store	Shopping Center Type Business
West	RA-4	Residential	Single Family Residential





4. **Master Plan.** This land is primarily designated Shopping Center Type Business on the Future Land Use Map, with the 20’x110’ portion on the northern end of the site designated as Single-Family Residential. The 2009 Master Plan describes uses permitted in Shopping Center Type Business as those that are compatible with each other in the shopping center environment and that have the least impact beyond the buildings. The Zoning Plan aligns this district with areas zoned B-1, B-2, and B-4.
5. **Residential Densities Map.** The residential densities map designates this area as medium density residential, which is compared with RA-3 and RA-4 residential zoning districts.
6. **Special Planning Areas.** The parcel is not a part of any of the Special Planning Areas in the Master Plan

**Proposed Zoning Versus Current Zoning**

The subject property is split zoned, but Primarily P-1 Vehicular Parking District, with only a small 20’ x 110’ area zoned RA-4 along the Northern boundary. The applicant is requesting to rezone the entire lot to RA-4 to permit a residential/duplex use. Duplexes are not listed as permitted uses in the P-1 Vehicular Parking District. A duplex may be constructed in the RA-4 District under the major road frontage option outlined in Section 34-3.18.

Standard	P-1 District	RA-4 District	Existing
Front Setback	Since the P-1 District only permits vehicular parking, no dimensional requirements are provided for structures (except for attendants’ shelters).	25 ft	No present structure on site.
Rear Setback		35 ft	
Street Side Setback		25 ft	
Side Setback (west)		5 ft	
Max Height		25 ft	
Lot Coverage		35%	
Min. Lot Size		8,500 SF	12,496.15
Min. Lot Width		60 Ft.	83 ft.

**Items to Consider for Zoning Map Amendment**

1. Is the proposed zoning consistent with the Master Plan?

*The Master Plan primarily designates this site as Shopping Center Type Business, which is inconsistent with the proposed rezoning. The parcels abutting the site to the south are also Shopping Center Type Business. The abutting parcels to the north and west are designated as single-family, shown on the residential densities map as “medium density.” These neighboring parcels are consistent with RA-4 Zoning.*

2. What other impact would the requested zoning have on public services, utilities, and natural features?

*Portions of the site where only vehicular parking uses were permitted will accommodate single-family and two-family residential uses, consistent with the RA-4 Zoning Designation. This will not have a significant impact on public services or utilities. The EGLE wetlands map designates this area as having “hydric soils.” No emergent wetlands are present in the area.*

3. Has the Applicant provided evidence that the property cannot be developed or used as zoned?

*There has not been evidence provided that would inhibit this site from being developed with a P-1 use, though demand for such a use in this location should also be considered.*

4. Is the proposed zoning district (and potential land uses) compatible with surrounding uses?

*The site is compatible with the neighboring RA-4 uses. In addition, if zoned RA-4, this site would be compatible with the neighboring B-1 parcel to the south, as the ordinance states that the intent of the B-1 District is to meet the day-to-day convenience shopping and service needs of persons residing in nearby residential areas.*

5. Will the proposed zoning place a burden on nearby thoroughfares? If so, how would this burden compare with the existing zoning district?

*As an undeveloped corner lot, a new curb cut may result in minor traffic conflicts. However, if developed as a P-1 use (parking lot), a curb cut would also be needed.*

6. Is there other land currently available for this use?

*With several listings on Zillow, there are other opportunities to construct single-family homes on vacant land in Farmington Hills. There is, however, limited land where the major thoroughfare option would be available.*

7. Will development of the site under proposed zoning be able to meet zoning district requirements?

*It appears that the site could be developed in accordance with the standards of the RA-4 district.*

8. Is rezoning the best way to address the request or could the existing zoning district be amended to add the proposed use as a permitted or special land use?

*A change to allow residential in the P-1 District would be inconsistent with the stated intent of the district, which is to accommodate off-street parking for those nonresidential uses which are not able to provide adequate space within their own district boundaries. The RA-4 district is one of two (with RA-3) where the major thoroughfare option is available.*

9. Has there been a change in circumstances and conditions since adoption of the Master Plan that would support the proposed change?

*Development in the immediate area has not changed in a substantial way since the adoption of the last master plan.*

10. Would granting the request result in the creation of an unplanned spot zone? Spot zoning is the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of a single property owner and to the detriment of others (*Rogers v. Village of Tarrytown*, 96 N.E. 2d 731). Typically, to determine if a rezoning would constitute spot zoning a municipality would look to answer three questions.

- Is the rezoning request consistent with the Master Plan for the area?

*The Master Plan for the area designates this land as Shopping Center Type Business, which is not consistent with the rezoning request. However, the Planning Commission may consider the parcel's proximity to adjacent lots proposed for Single-Family (Medium Density) residential.*

- Is the proposed zoning district a logical extension of an existing zoning district in the area?

*This rezoning is consistent with most surrounding zoning.*

- Would approving the request grant a special benefit to a property owner or developer?

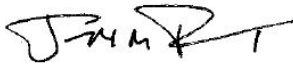


*The rezoning would permit the use of the full property for residential use, consistent with the majority of residential properties in the area.*

For reference, we have included the lists of permitted and special land uses in both districts at the end of this letter.

We look forward to discussing our review at the next Planning Commission meeting.

Sincerely,  
**Giffels Webster**



Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner



**Future Land Uses**

## RA-4 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Site-built, one-family detached dwelling units
- ii. Farms § 34-4.1
- iii. Neighborhood parks
- iv. Manufactured one-family detached dwelling units § 34-4.6
- v. The following uses are permitted subject to the special conditions in Section 34-3.6
  - a. Public, parochial or private elementary intermediate or secondary schools offering courses in general education § 34-4.2
  - b. Golf courses, not including driving ranges or miniature golf courses § 34-4.3
  - c. Churches § 34-4.4
  - d. Nursery schools, day nurseries, and day care centers § 34-4.5
  - e. Municipal buildings and uses not including any outdoor storage
  - f. Publicly owned and operated libraries, community wide parks and recreational facilities
  - g. Accessory buildings and uses customarily incidental to any principal permitted use.

### Special Land Uses:

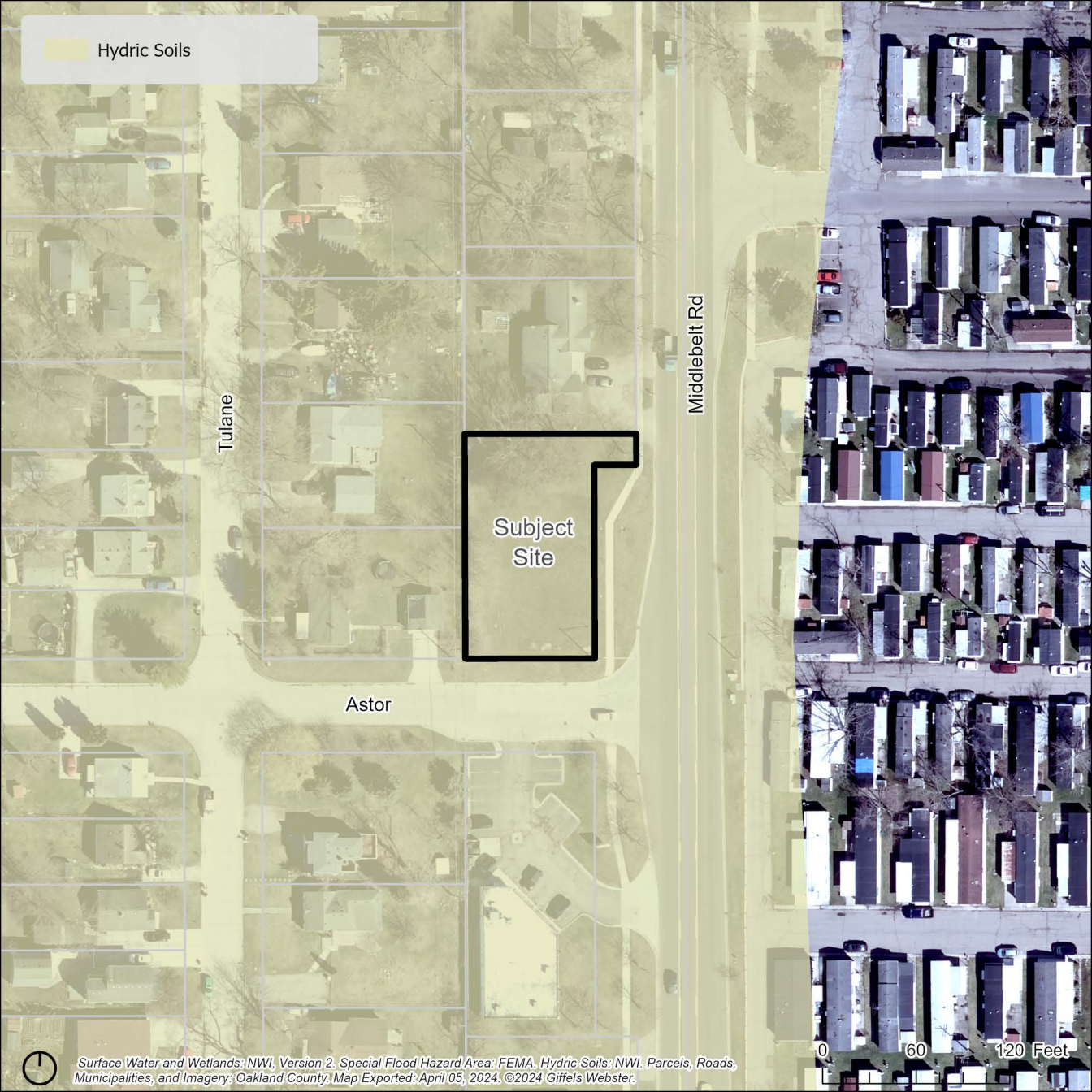
The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Public utility buildings, telephone exchange buildings, electric transformer stations and substations, and gas regulator stations § 34-4.8
- ii. Private noncommercial recreational areas, institutional or community recreation centers, a nonprofit swimming pool club § 34-4.9
- iii. Colleges, universities and other such institutions of higher learning, public and private § 34-4.10

### Accessory Uses:

- i. Electrical vehicle infrastructure § 34-4.55
- ii. Private swimming pools § 34-4.11
- iii. Private stables 34-4.12
- iv. Retail sale of farm goods § 34-4.13
- v. Commercial vehicles § 34-4.14
- vi. Home occupations § 34-4.15
- vii. State-licensed day care homes § 34-4.16

Hydric Soils



Subject Site

Tulane

Middlebelt Rd

Astor





Received

MAR 18 2024

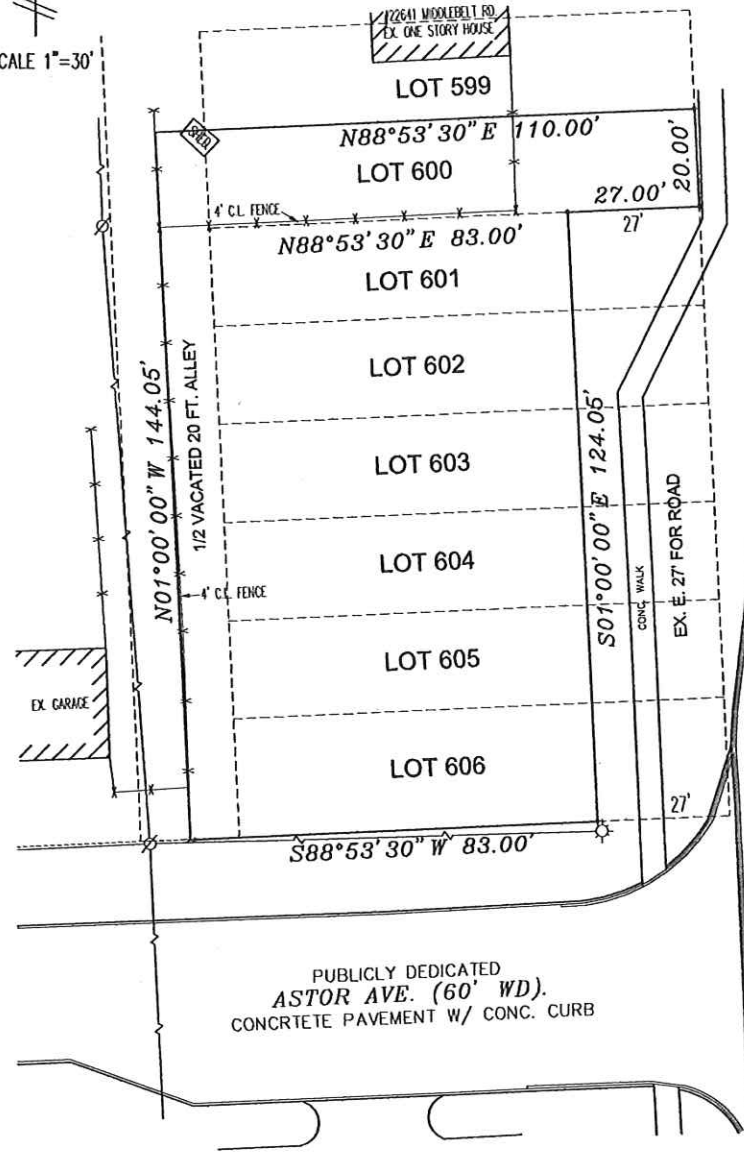
City of Farmington Hills  
Planning Dept.

# PROPERTY COMBINATION

COMBINED PARCELS

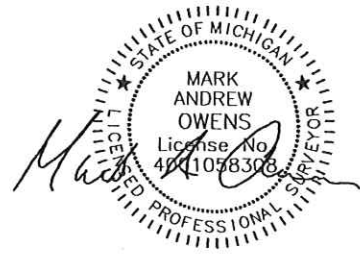


SCALE 1"=30'



### LEGEND

- GUARD POST
- F.I FOUND IRON
- S.I SET IRON
- ⊗ UTILITY POLE
- ^ GUY WIRE
- ⊙ WATER SHUTOFF BOX
- ⊙ ROUND CATCH BASIN
- OVERHEAD WIRES



JOB #: 23145  
DATE: 12-22-2023  
PAGE 3 OF 4

**SURVEY TECH**  
 SURVEYING      ENGINEERING  
 3253 LYNHURST CT.  
 OAKLAND, MI 48306  
 TEL. (248) 670-6556



Received  
MAR 18 2024  
City of Farmington Hills  
Planning Dept.

PROPERTY DESCRIPTION

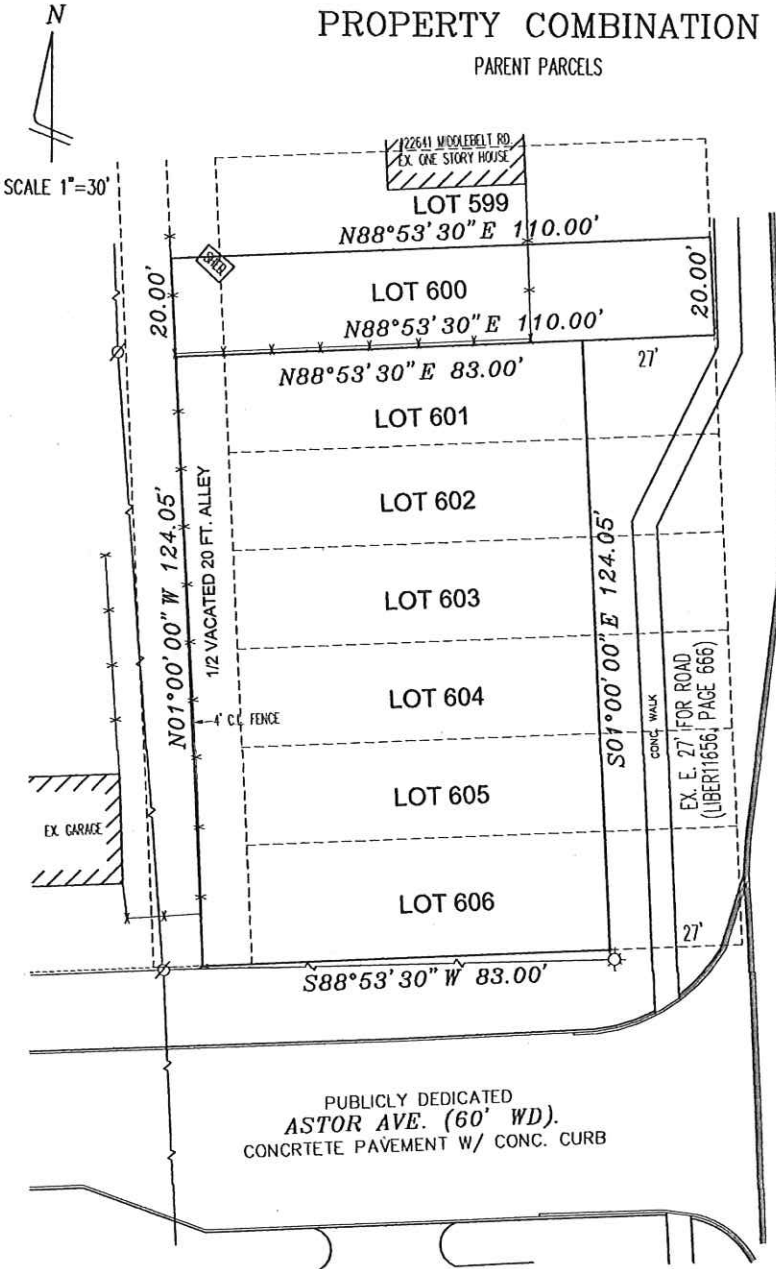
LOTS 601 THROUGH 606 INCLUSIVE, INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY, EXCEPT THE EAST 27 FEET THEREOF TAKEN FOR ROAD ALSO LOT 600 INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

JOB #: 23145  
DATE: 12-22-2023  
PAGE 4 OF 4

**SURVEY TECH**  
SURVEYING      ENGINEERING  
3253 LYNHURST CT.  
OAKLAND, MI 48306  
TEL. (248) 670-6556

PROPERTY COMBINATION  
PARENT PARCELS

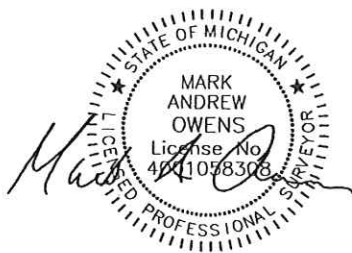
Received  
MAR 18 2024  
City of Farmington Hills  
Planning Dept.



LEGEND

- GUARD POST
- F.I FOUND IRON
- S.I SET IRON
- ⊗ UTILITY POLE
- ^ GUY WIRE
- ⊙ WATER SHUTOFF BOX
- ⊙ ROUND CATCH BASIN
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JOB #: 23145  
DATE: 12-22-2023  
PAGE 1 OF 4



**SURVEY TECH**  
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3253 LYNHURST CT.  
OAKLAND, MI 48306  
TEL. (248) 670-6556

Received

MAR 18 2024

City of Farmington Hills  
Planning Dept.

PROPERTY DESCRIPTION

PARCEL A:

LOTS 601 THROUGH 606 INCLUSIVE, INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY, EXCEPT THE EAST 27 FEET THEREOF TAKEN FOR ROAD "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

PARCEL NO.: 23-26-480-038

PARCEL B:

LOT 600 INCLUDING THE  $\frac{1}{2}$  OF THE VACATED ADJACENT ALLEY "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

PARCEL NO.: 23-26-480-037

JOB #: 23145  
DATE: 12-22-2023  
PAGE 2 OF 4

**SURVEY TECH**

SURVEYING      ENGINEERING

3253 LYNHURST CT.  
OAKLAND, MI 48306

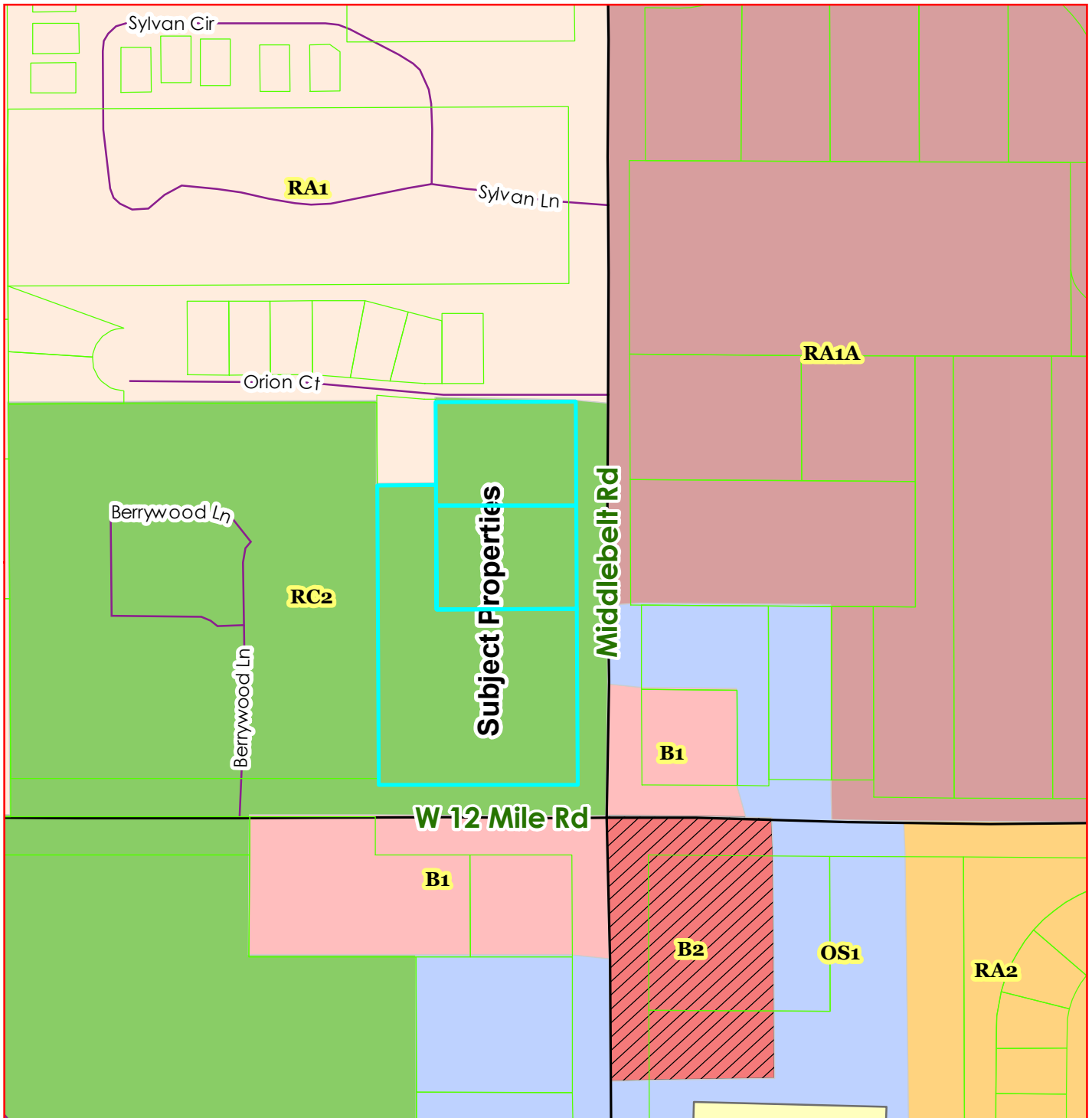
TEL. (248) 670-6556

Legal:

T1N, R9E, SEC 26 WADDELL-WILCOX-RYMAL COMPANY'S KEMBERTON PARK SUBLOTS 601 TO 606 INCL, EXC E 27 FT  
TAKEN FOR RD, ALSO 1/2 OF VAC ALLEY ADJ TO SAME7-9-91 CORR 1/2024 COMBINED WITH -037 INTO -046



**ZR 4-3-2024, 27815 and 28025 Middlebelt Rd.;  
 three (3) parcels on west side of Middlebelt Rd.  
 between Orion Ct., and Twelve Mile Rd., 11-477-013, 014 & 109  
 Rezone the three parcels from RC-2 to B-1**



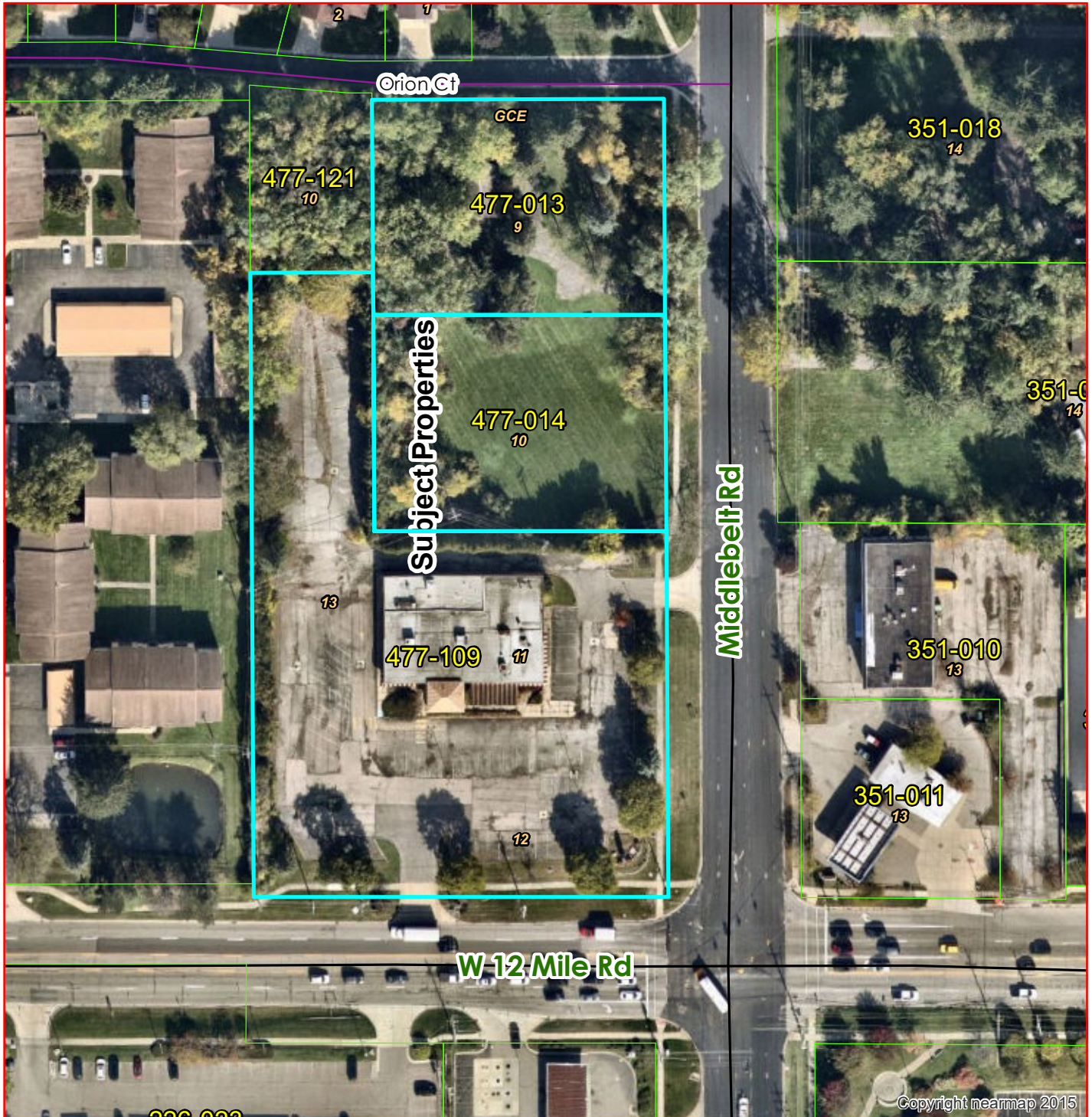
Tax parcel	OS-1 Office Service District
Minor roads	RA-1 One Family Residential District
<b>Zoning Districts</b>	RA-1A One Family Residential District
<b>Zoning Districts</b>	RA-2 One Family Residential District
B-1 Local Business District	RC-2 Multiple Family Residential
B-2 Community Business District	

FEET

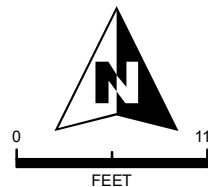
SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

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 between Orion Ct., and Twelve Mile Rd., 11-477-013, 014 & 109  
 Rezone the three parcels from RC-2 to B-1



**Planning Division**



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- Tax parcel
- Minor roads



April 10, 2024

Planning Commission  
City of Farmington Hills  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# Rezoning Review

Case: ZR 4-3-2024  
Site: 27815 Middlebelt Road (23-11-477-109, -014, -013)  
Applicant: SkilkenGold Real Estate Development  
Plan Date: Received March 18, 2024  
Request: Rezone from RC-2 to B-3

We have completed a review of the request for rezoning referenced above and a summary of our findings is below.



**SUMMARY OF FINDINGS**

**Existing Conditions**

1. **Zoning.** The subject property includes three parcels zoned RC-2 Multiple-Family Residential. The parcels have had this zoning designation since 2019. Prior to that, the zoning was a mix of B-2 at the corner, P-1 in the west-central portion of the property, and RA1 on the northern half:

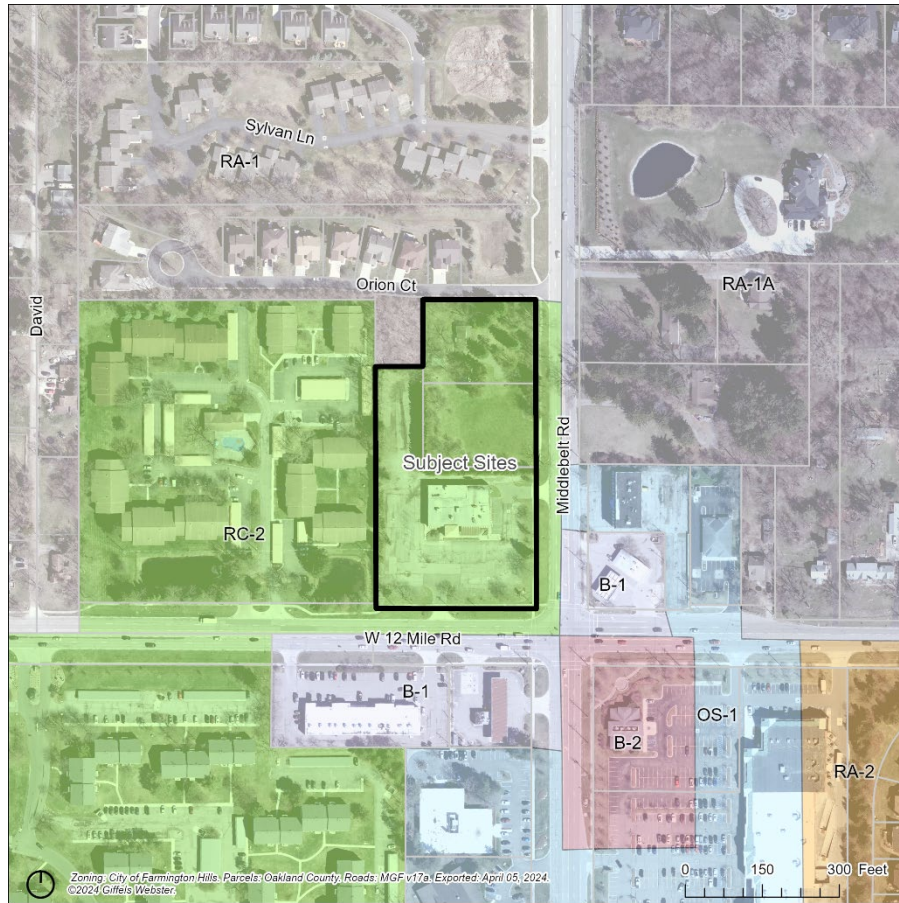


Zoning in early 2019

2. **Existing Development.** Parcel -109 is 2.39 acres and includes a vacant 10,134 SF commercial building and parking area. Parcel -014 is 0.82 acres and is vacant. Parcel -013 is .82 acres and includes a single-family house and accessory structures. A senior housing project was twice approved for this property in 2019 and 2021, but was never built.
3. **Adjacent Properties.** Zoning and use of adjacent properties is as follows:

Direction	Zoning	Land Use	Future Land Use Category
North	RA-1	Single-Family Residential	Single-Family Residential (Cluster)
East	RA-1A	Single-Family Residential	Single-Family Residential
East	OS-1	Office	Small Office
East	B-1	Gas Station	Shopping Center Type Business
South	B-1	Gas Station	Non-Center Type Business
West	RC-2	Multiple-Family Residential	Multiple-Family Residential





4. **Master Plan.** Parcel -109 is designated as Shopping-Center Type business. The 2009 Master Plan describes uses permitted in Shopping Center Type Business as those that are compatible with each other in the shopping center environment and that have the least impact beyond the buildings. The Zoning Plan aligns this district with areas zoned B-1, B-2, and B-4. Parcels -014 and -013 are both designated as Multiple-Family Residential.
5. **Residential Densities Map.** The residential densities map designates Parcels -014 and -013 area as high density residential, which is comparable with multiple-family residential zoning districts.
6. **Special Planning Areas.** The parcel is not a part of any of the Special Planning Areas in the Master Plan.

**Proposed Zoning Versus Current Zoning**

The applicant is requesting to rezone the entire lot to B-3 to permit a fueling station with convenience store and restaurant; when a site plan is presented at a future date, a front street must be identified.

Standard	RC-2 District	B-3 District	Existing
Front Setback	50 ft	25 ft	>50 ft
Rear Setback (Street side)	50 ft <sup>1</sup>	25 ft	>50 ft

East Side Setback (Street side)	50 ft <sup>1</sup>	25 ft	>50 ft
West Side Setback	20 ft	31.2 ft <sup>2</sup>	>31.2ft <sup>3</sup>
Max Height	30 ft	50 ft/ 3 stories	Information not provided; all buildings less than 50 ft
Lot Coverage	35% (per unit)	NA	<35%
Min. Lot Size	8,000 SF	NA	>8,000 SF
Min. Lot Width	80 ft	NA	>80 ft

<sup>1</sup> Street side setbacks are a minimum of 50 feet, but this may vary depending on building height based on the formula described in 34-3.5.2.G

<sup>2</sup> Side yard setback addresses the provision in 34-3.5.2.L, which states that the setback from any residential district shall be not less than 10% of the depth of the lot, not to exceed 50 feet.

<sup>3</sup> The garage on parcel -013 is located within the required setback area,. This is an existing nonconforming structure, but does not comply with the present RC-2 zoning.

**Items to Consider for Zoning Map Amendment**

1. Is the proposed zoning consistent with the Master Plan?

*The proposed zoning is not consistent with the Master Plan. The Master Plan designates this site as either Shopping Center Type Business (parcel -109) or Multiple Family Residential (parcel -013, 014). Neither FLU designation aligns with areas currently zoned as B-3.*

2. What other impact would the requested zoning have on public services, utilities, and natural features?

*There are not any significant impacts to public services, utilities, and natural features as a part of this proposed rezoning.*

3. Has the Applicant provided evidence that the property cannot be developed or used as zoned?

*There has not been evidence provided that would inhibit this site from being developed as an RC-2 use.*

4. Is the proposed zoning district (and potential land uses) compatible with surrounding uses?

- *The B-3 land use permits a long list of commercial uses that are less conducive to pedestrian traffic than in other zoning districts. With proximity to residential along the northern, eastern, and western boundaries, the Planning Commission may wish to consider whether a more transitional zoning classification may be appropriate and better aligned with the Future Land Use map.*
  - *The B-1 Zoning district also permits carryout restaurants and convenience stores as principal uses, and gasoline service stations as a special land use and is consistent with zoning to the east and south of the site. Furthermore, the B-1 classification is consistent with the Shopping Center Type Business Future Land Use designation, assigned to Parcel -109.*

5. Will the proposed zoning place a burden on nearby thoroughfares? If so, how would this burden compare with the existing zoning district?

*The proposed development will result in increased traffic. A traffic study is recommended as a part of the site plan review process. A multiple-family residential development, as permitted under the current RC-2 Zoning, would also contribute to increased traffic.*

6. Is there other land currently available for this use?

*There is other land zoned B-3, some of which is vacant (primarily in the Grand River and Northwestern Highway corridors).*

7. Will development of the site under proposed zoning be able to meet zoning district requirements?

*It appears that the site could be developed in accordance with the standards of the B-3 district. However, the site presently includes a structure that is used as a single-family house. If this use is continued, the proposed rezoning will result in the creation of a nonconforming use. The Planning Commission may wish to deny or postpone this request until the applicant demonstrates intent to abandon continuation of the single-family use.*

8. Is rezoning the best way to address the request or could the existing zoning district be amended to add the proposed use as a permitted or special land use?

*Gasoline service stations, restaurants, and convenience stores are not permitted or appropriate uses for a multiple-family residential zoning district.*

9. Has there been a change in circumstances and conditions since adoption of the Master Plan that would support the proposed change?

*Development in the immediate area has not changed in a substantial way since the adoption of the last master plan.*

10. Would granting the request result in the creation of an unplanned spot zone? Spot zoning is the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of a single property owner and to the detriment of others (*Rogers v. Village of Tarrytown*, 96 N.E. 2d 731). Typically, to determine if a rezoning would constitute spot zoning a municipality would look to answer three questions.

- Is the rezoning request consistent with the Master Plan for the area?

*The Master Plan for the area designates this land as Shopping Center Type Business and Multiple Family Residential, which is not consistent with the rezoning request.*

- Is the proposed zoning district a logical extension of an existing zoning district in the area?

*This rezoning is inconsistent with surrounding zoning.*

- Would approving the request grant a special benefit to a property owner or developer?

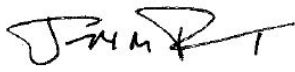
*The rezoning would permit the use of the full property for commercial use, consistent with the other corners of this intersection. However, a B-3 Zoning Designation would allow for more intensive development than the surrounding B-1 Districts.*

For reference, we have included the lists of permitted and special land uses in both districts at the end of this letter.

We look forward to discussing our review at the next Planning Commission meeting.



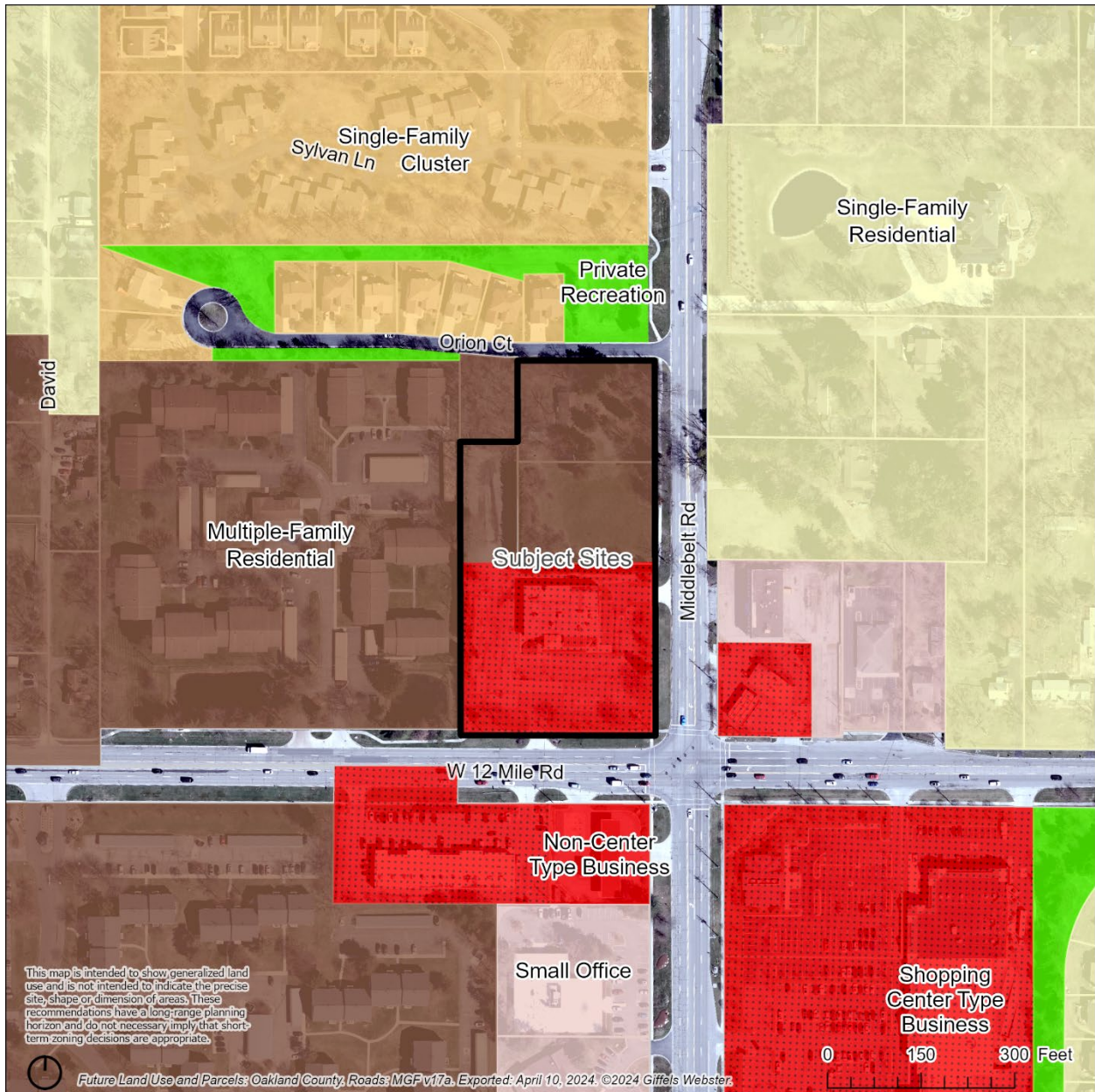
Sincerely,  
Giffels Webster



Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner



**Future Land Uses**



## RC-2 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Multiple-family dwellings
- ii. Two-family dwellings
- iii. Rental or management offices and clubrooms accessory to a multiple-dwelling project
- iv. Convalescent homes or orphanages § 34-4.17
- v. Accessory buildings and uses customarily incidental to any of the above uses, including the following:
  - a. Home occupations § 34-4.15
- vi. The following uses are permitted subject to the standards and requirements of the RA district having the greatest common linear boundary with the RC district. The area and bulk requirement of the RC district shall apply to all uses other than one-family.
  - a. Site-built, one-family detached dwelling units
  - b. Farms § 34-4.1
  - c. Neighborhood parks
  - d. Manufactured one-family detached dwelling units § 34-4.6
  - e. The following uses are permitted subject to the special conditions in Section 34-3.6
    - i. Public, parochial or private elementary, intermediate or secondary schools offering courses in general education § 34-4.2
    - ii. Golf course, not including driving ranges or miniature golf courses § 34-4.3
    - iii. Churches § 34-4.4
    - iv. Nursery schools, day nurseries, and
    - v. day care centers § 34-4.5
    - vi. Municipal buildings and uses not including any outdoor storage
    - vii. Publicly owned and operated libraries, community wide parks and recreational facilities
  - f. Accessory buildings and uses customarily incidental to any of the above uses

### Special Land Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Public utility buildings, telephone exchange buildings, electric transformer stations and substations, and gas regulator stations § 34-4.8
- ii. Private noncommercial recreational areas, institutional or community recreation centers, a nonprofit swimming pool club § 34-4.9
- iii. Colleges, universities and other such institutions of higher learning, public and private § 34-4.10

### Accessory Uses:

- i. Electrical vehicle infrastructure § 34-4.55

## B-3 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Retail businesses § 34-4.29
- ii. Personal service establishments which perform services on the premises
- iii. Laundry, drycleaning establishments, or pickup stations, dealing directly with the consumer § 34-4.25
- iv. Office buildings for any of the following occupations: executive, administrative, professional, accounting, writing, clerical, stenographic, drafting, sales
- v. Medical office including clinics
- vi. Banks, credit unions, savings and loan associations and similar uses with drive-in facilities as an accessory use only
- vii. Post office and similar governmental office buildings, serving persons living in the adjacent residential area
- viii. Nursery schools, day nurseries, and day care centers
- ix. Mortuary establishments
- x. Dance hall or catering hall when conducted within a completely enclosed building
- xi. Tire, battery and accessory sales
- xii. New or used car salesroom, showroom or office when the main use is carried on within a building with open air display of vehicles as accessory
- xiii. Retail sales of plant materials, lawn furniture, playground equipment and other house or garden supplies
- xiv. Lawn mower sales or service
- xv. Private clubs or lodge halls
- xvi. Data processing, computer centers
- xvii. Restaurants including fast food or carryout restaurants
- xviii. Other uses similar to the above uses
- xix. Accessory structures and uses customarily incident to any of the above uses
- xx. Theaters, assembly halls, concert halls or similar places of assembly § 34-4.44
- xxi. Churches
- xxii. Business schools and colleges or private schools operated for profit
- xxiii. The following uses are subject to review and approval of the site plan by the planning commission:
  - a. Motel
  - b. Drive-in restaurants § 34-4.35
  - c. Outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products §34-4.36
  - d. Business in the character of a drive-in or open front store § 34-4.37
  - e. Gasoline service stations § 34-4.28
  - f. Veterinary hospitals or commercial kennels §34-4.26
  - g. Bus passenger stations § 34-4.38
  - h. Commercially used outdoor recreational space for children's amusement parks, carnivals, miniature golf courses, tennis courts § 34-4.39
  - i. Automobile repair
  - j. Vehicle Wash § 34-4.40
  - k. Indoor Recreation Facilities § 34-4.19

- l. Public buildings, public utility buildings, telephone exchange buildings, electric transformer stations and substations without storage yards; gas regulator stations with service yards, but without storage yards; water and sewage pumping stations
- m. Outdoor space for seating areas accessory to a restaurant
- n. Cellular tower and Cellular Antennae
- o. Indoor health and fitness studio and instructional dance studios

**Special Land Uses:**

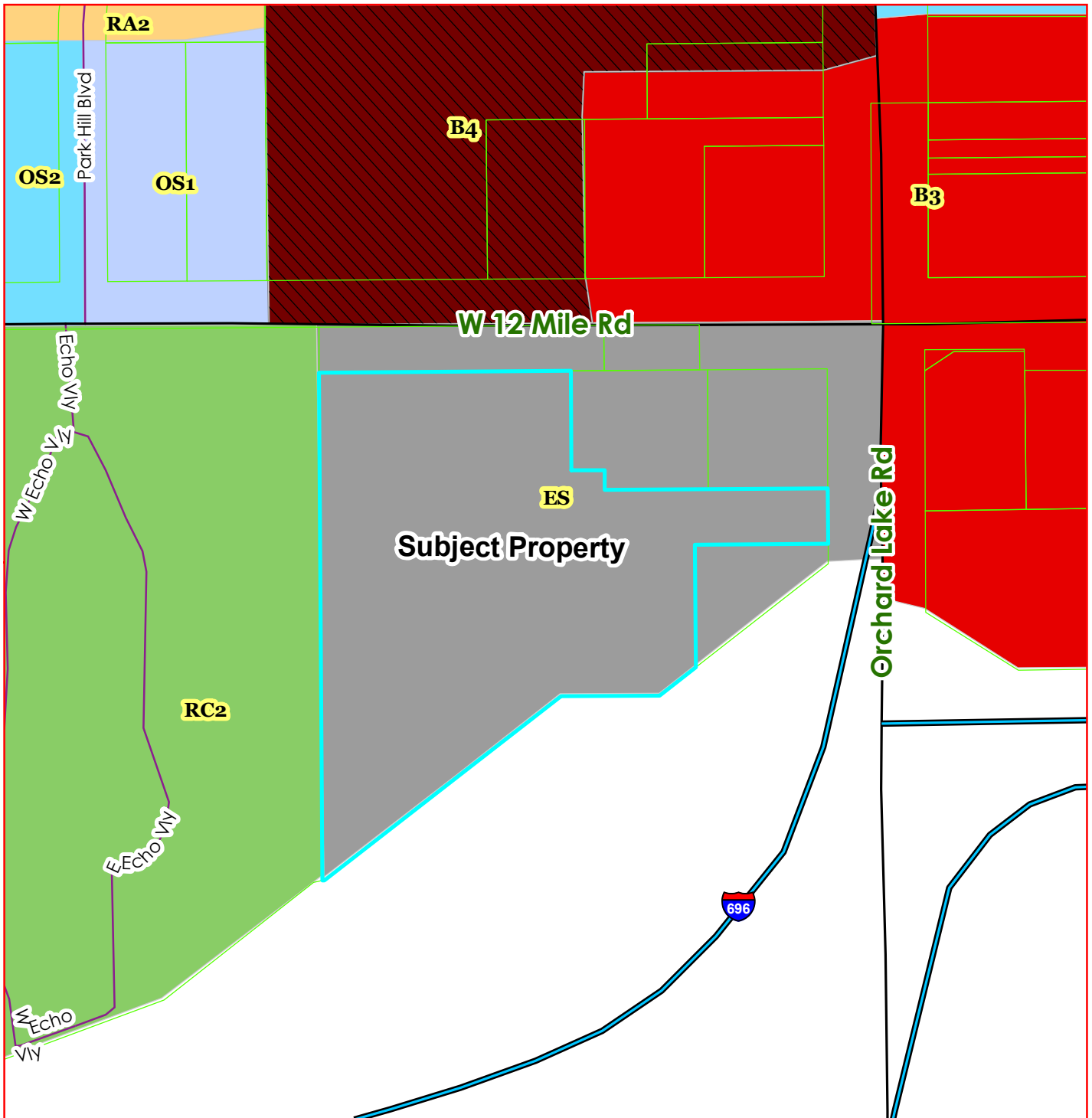
The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Coin-operated amusement device arcades, billiard parlors or other similar indoor recreation uses § 34-4.19.4
- ii. Establishments with coin-operated amusement devices § 34-4.33

**Accessory Uses:**

- i. Electrical vehicle infrastructure § 34-4.55
- ii. Fabrication, repair, and processing of goods § 34-4.29

**Amend PUD 1, 2021 Including revised SP 54-2-2021  
 31525 Twelve Mile Rd., 15-201-270 ES  
 Conversion of hotel building into independent living facility**



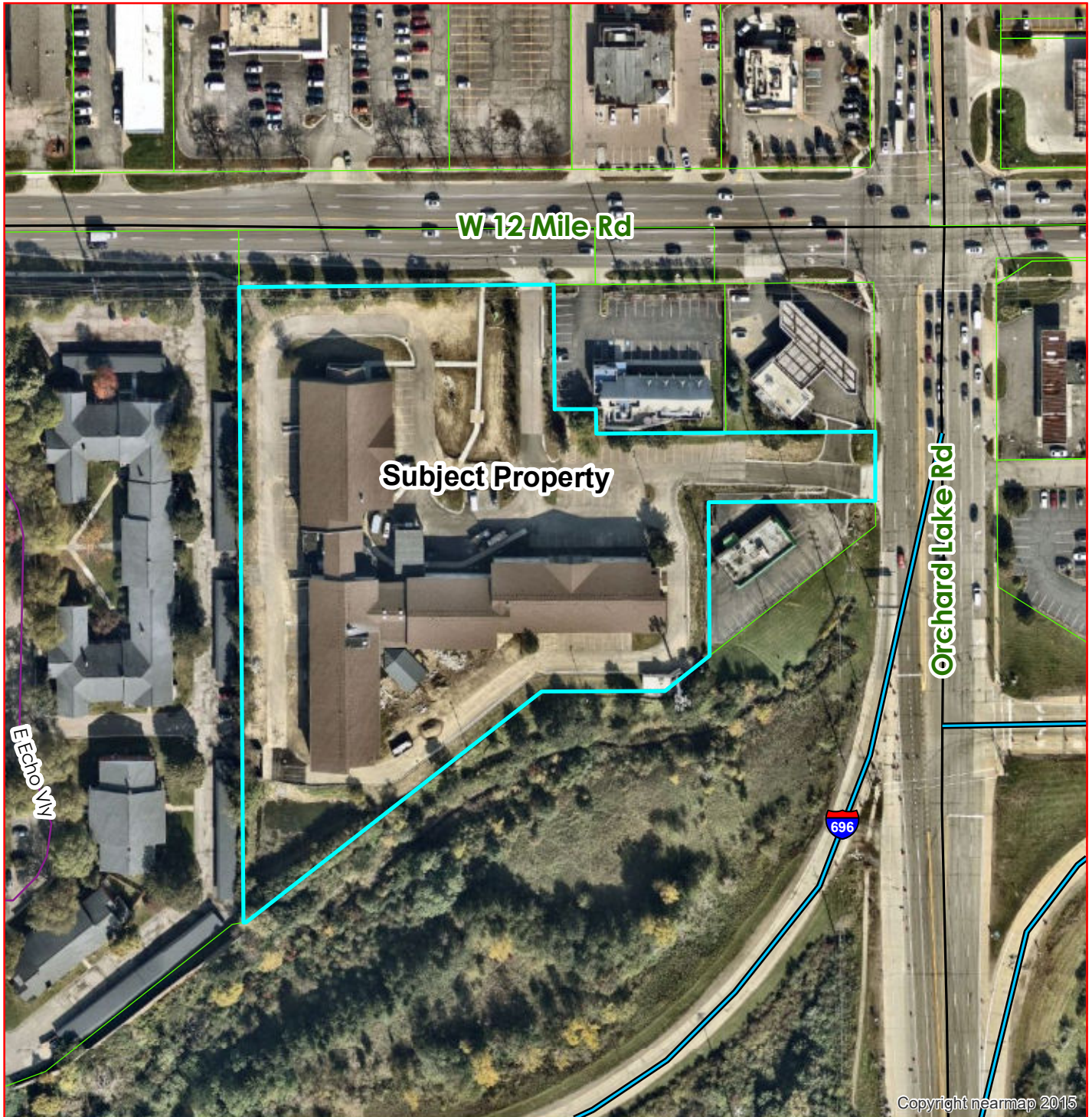
<span style="border: 1px solid green; display: inline-block; width: 15px; height: 10px;"></span> Tax parcel	<span style="background-color: grey; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> ES Expressway Service District
<span style="color: purple;">—</span> Minor roads	<span style="background-color: lightblue; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> OS-1 Office Service District
<b>Zoning Districts</b>	<span style="background-color: cyan; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> OS-2 Planned Office Service District
<b>Zoning Districts</b>	<span style="background-color: orange; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> RA-2 One Family Residential District
<span style="background-color: red; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> B-3 General Business District	<span style="background-color: green; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> RC-2 Multiple Family Residential
<span style="background-color: brown; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> B-4 Planned General Business District	

SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

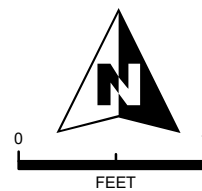


**Amend PUD 1, 2021 Including revised SP 54-2-2021  
31525 Twelve Mile Rd., 15-201-270 ES  
Conversion of hotel building into independent living facility**



**Planning Division**

- Tax parcel
- Minor roads



SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

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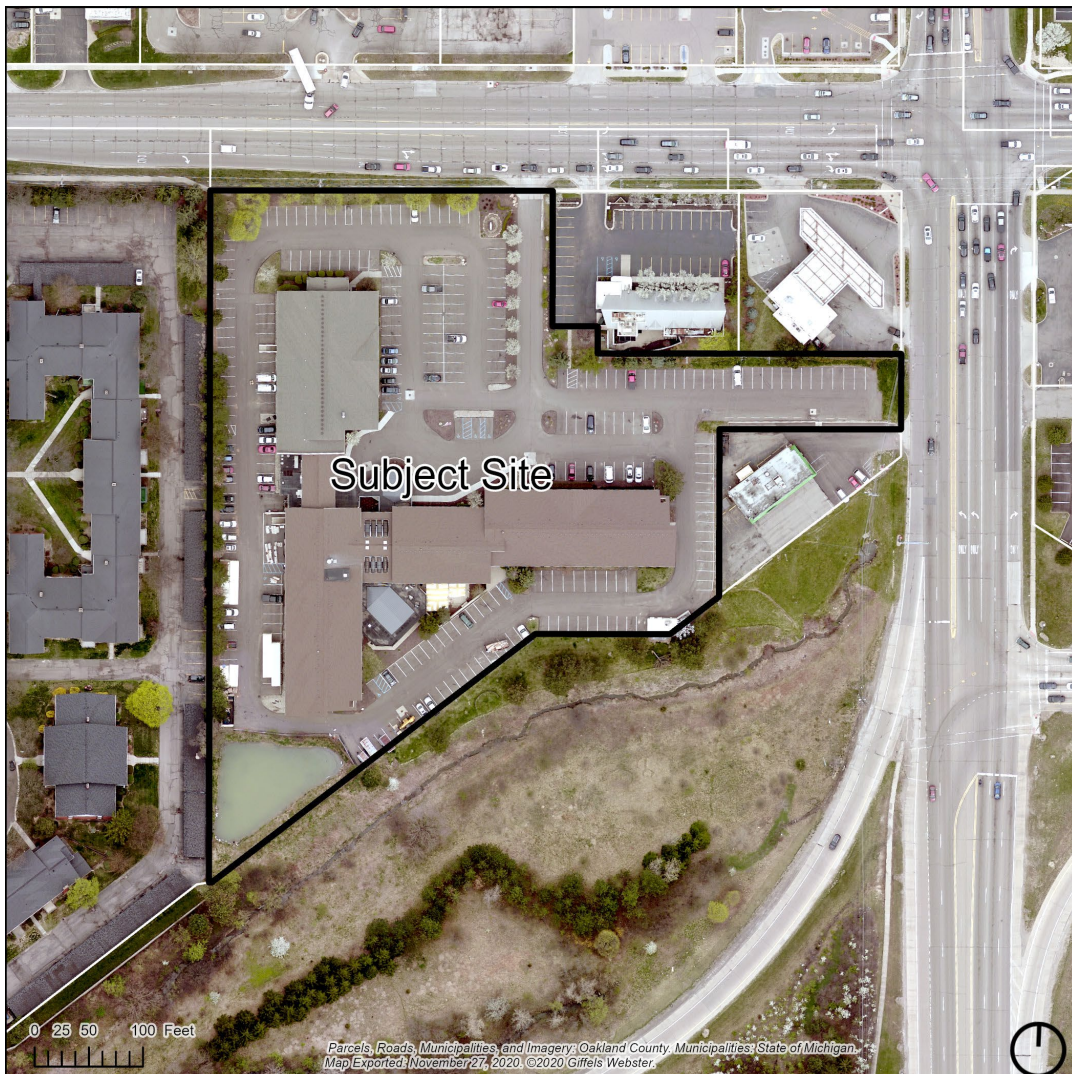
May 9, 2024

Farmington Hills Planning Commission  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

## PUD Amendment Qualification

Case: Amendment to PUD 1, 2021  
Site: 31525 12 Mile Rd (Parcel ID 22-23-15-201-270)  
Applicant: Comfort Care  
Application Date: 3/22/2024  
Zoning: ES Expressway Service w/ PUD

We have completed a review of the application for PUD qualification referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



## SUMMARY OF FINDINGS

### Existing Conditions

1. **Zoning.** The site is currently zoned ES Expressway Service and is part of PUD 1, 2021.
2. **Existing site.** The site is 4.96 acres and is developed with a three-story hotel with access to 12 Mile Road via a single driveway.
3. **Adjacent Properties.**

Direction	Zoning	Land Use
North	B-4	Commercial
East	ES	Restaurants, gas station
South	I-696	Highway interchange
West	RC-2	Multi-family development

4. **Site configuration and access.** The site is accessible from 12 Mile Road via one driveway, with an approved, under-construction connection to Orchard Lake Road.

### PUD Amendment:

The applicant proposes to amend the PUD to make all 131 units independent living, whereas the approved PUD contains a mix of 21 studio memory care units, 51 assisted living units, and 56 independent living units (11 studios, 41 one-bedroom units, and 4 two-bedroom units).

Per Section 34-3.20.5.G, “Proposed amendments or changes to an approved PUD plan shall be submitted to the planning commission. The planning commission shall determine whether the proposed modification is of such minor nature as not to violate the area and density requirements or to affect the overall character of the plan, and in such event may approve or deny the proposed amendment. If the planning commission determines the proposed amendment is material in nature, the amendment shall be reviewed by the planning commission and city council in accordance with the provisions and procedures of this section as they relate to final approval of the Planned Unit Development.”

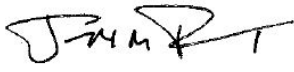
In addition to the unit mix, the degree of relief from parking requirements has changed with it (with the previous unit mix, the required number of spaces was 83, and 95 were provided). Site plans included with this submission, dated 3/22/24, provide the following unit mix, all independent living: 47 studios, 84 one-bedroom units. The revised plan states that 81 spaces are required, though it is not clear how this number was reached. If none of the 131 units have kitchen facilities, 0.75 spaces per unit are required, which produces a total requirement of 98 spaces. The applicant now proposes 85 spaces; the applicant is requesting relief from the parking requirement to provide 13 fewer spaces than required.

This is a major amendment, and therefore subject to a public hearing and final City Council approval.

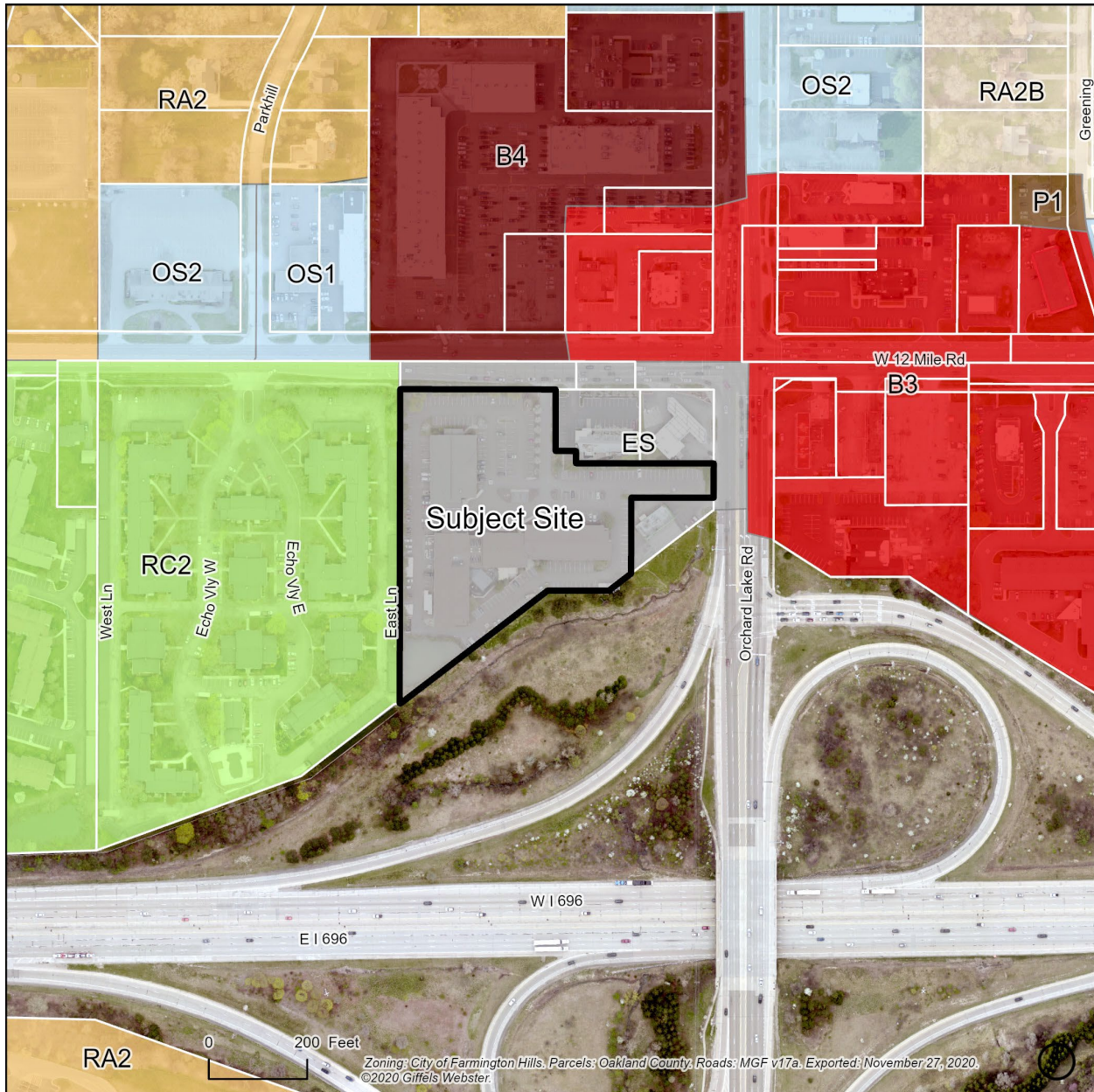
We are available to answer questions.



Respectfully,  
Giffels Webster

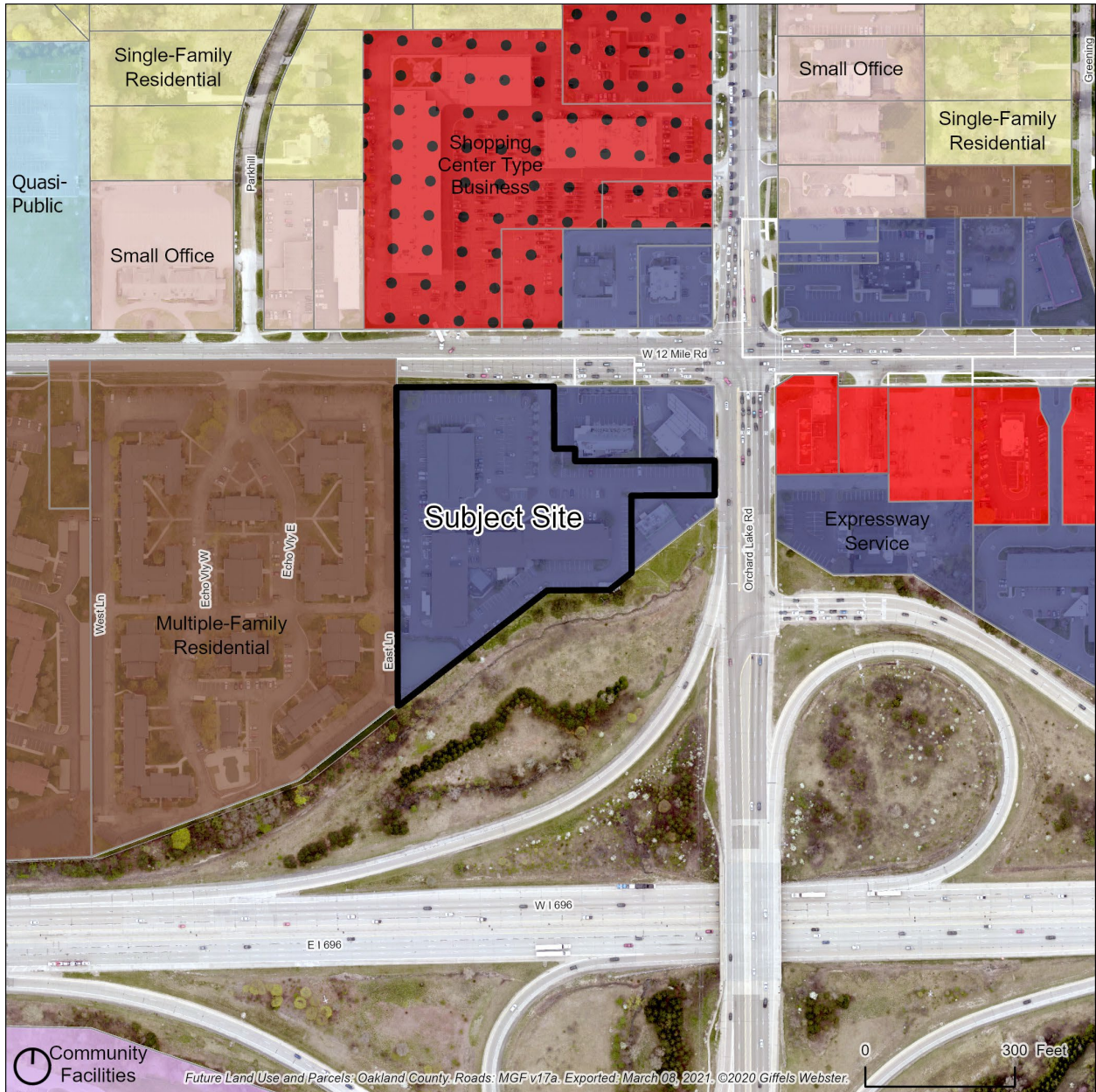


Joe Tangari, AICP  
Principal Planner



Current zoning





Future Land Use



DEPARTMENT OF PUBLIC SERVICES  
JACOB RUSHLOW P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

**DATE:** April 8, 2024  
**TO:** Planning Commission  
**FROM:** James Cubera, City Engineer  
**SUBJECT:** Comfort Care Senior Living  
Revised PUD 1, 2021  
PJ #: 15-21-51 SP#: 54-2-2021  
31525 12 Mile Road  
22-23-15-201-270

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This office has performed a preliminary review of the above referenced plan submitted to the Planning Department on March 25, 2024. We have met with the Planning Department and note that there are no proposed site changes from the approved plan. Therefore, we have no additional comments at this time.

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# FIRE

## FARMINGTON HILLS



### INTEROFFICE CORRESPONDENCE

**DATE:** April 4, 2024  
**TO:** Planning Commission  
**FROM:** Jason Baloga, Fire Marshal  
**SUBJECT:** PUD Qualification 1-2021 (31525 Twelve Mile)  
Comfort Care Senior Living

The Fire Department has no objection to the qualification of this proposed project; however, the Planning Department should consider the impact of senior living facilities as they relate to Fire Department operations. A recent study of senior care facilities in Farmington Hills has found an average of one (1) medical incident per year, per bed; therefore, by using this average, this project will increase the Fire Department's run volume by the number of beds proposed in this facility.

1. Sites shall be designed to accommodate fire apparatus with a 50' turning radius.
2. The current plans do not clearly show existing hydrant coverage to be verified. The Fire Department prefers adding a hydrant on the north side of the new access drive off Orchard Lake Road near the lot line between the Mobile and restaurant.
3. Ensure that Item #3 Item I and J referencing elevators and generators are adhered to in the PUD agreement. **Proponent has not discussed this with the Fire department.**
  - i. "An onsite generator or other form of fire department approved long-term emergency power shall be provided to the building."
  - j. "At least one accessible elevator large enough to accommodate a cot in the supine position and sufficient emergency personnel and equipment to ensure proper care can be provided to critical patients when transporting patients from the building."
4. A written description of services provided to residents shall be provided to the Fire Department to help determine State/Local jurisdiction requirements. **This has not been satisfied since originally requested in 2021.**
5. EV Chargers shall be installed according to all applicable codes and NFPA Standards. EV Chargers shall have disconnected signage approved by the Fire Department and electrical inspector.
6. Any interior modifications shall be subject to applicable permits through the City's Building Department.

7. An entire re-review will be required of the sprinkler system, fire alarm system, and proposed Kitchen Suppression Systems in their entirety, based on the change of use and interior alterations made which may affect the systems.
8. Re-acceptance tests shall be required for kitchen, fire alarm and suppression systems.
9. An Emergency Responder Radio Coverage system shall be required if it is determined that signal strength is not adequate.
10. The minimum clearance between the finished roadway surface and any overhead obstruction shall be 13' 6".
11. The Fire Department Connection (FDC) shall be a 5" Storz with a 30° downturn. The location of the FDC shall be approved by the Fire Department.
12. If a fire pump is required, a diesel pump or on-site generator shall be provided; DTE is not considered a reliable power source.
13. In multiple story building, provide floor control valves with water flow and tamper switches for each floor.
14. No parking fire lane signs shall be posted and strictly enforced.
15. The building shall be properly maintained and in accordance with Fire Prevention Code requirements.

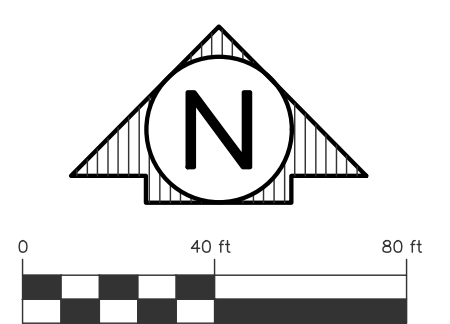


Jason Baloga, Fire Marshal



**SHOPPING CENTER**  
22-23-10-476-066  
27839 ORCHARD LK RD  
(ZONED: B4)

**COMERICA BANK**  
22-23-10-476-043  
31500 WEST TWELVE MILE ROAD  
(ZONED: B3)



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

**SITE INFORMATION**

PROPERTY ADDRESS: 31525 TWELVE MILE ROAD FARMINGTON HILLS, MI 48334

APPLICANT: MANOR SENIOR LIVING LLC  
ATTN: DOUGLAS BOEHM  
4180 TITABAWASSEE ROAD  
SAGINAW, MI 48604  
P: 248-930-7875

PROPOSED UNITS: UNIT TYPE: INDEPENDENT LIVING  
FIRST FLOOR - 23 UNITS TOTAL: 3 STUDIOS AND 20 ONE BED UNITS  
SECOND FLOOR - 56 UNITS TOTAL: 20 STUDIOS AND 36 ONE BED UNITS  
THIRD FLOOR - 52 UNITS TOTAL: 24 STUDIOS AND 28 ONE BED UNITS  
BUILDING TOTAL: 131 INDEPENDENT LIVING UNITS

TOTAL SITE AREA: 4.95 ACRE

PARKING SUMMARY: EXISTING PARKING SPACES - 290 SPACES (INCLUDING 7 B.F. SPACES)  
REQUIRED PARKING SPACES - 81 SPACES (INCLUDING 4 B.F. SPACES)  
PROPOSED PARKING SPACES - 85 SPACES (INCLUDING 5 B.F. SPACES)

PARKING SPACE SIZE - 9 FEET WIDE, 20 FEET LONG  
MINIMUM AISLE WIDTH = 20 FEET

**PROJECT CONTACTS**

ENGINEER/DESIGNER/PLANNER: ROWE PROFESSIONAL SERVICES COMPANY  
ATTN: PAUL O'MEARA, P.E.  
27280 HAGGERTY ROAD, SUITE C-2  
FARMINGTON HILLS, MI 48331  
P: 248-675-1096

ARCHITECT: SEIDELL ARCHITECTS  
114 N. COURT AVE., STE. 201  
POST OFFICE BOX 2189  
GAYLORD, MICHIGAN 49734  
P: 989-731-0372

**SITE PLAN NOTES**

- RELOCATED SIGNS LOCATED WITHIN ORCHARD LAKE ROAD RIGHT OF WAY TO BE COORDINATED WITH THE OAKLAND COUNTY ROAD COMMISSION AND MDOT.
- PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
- PROTECT ALL STORM SEWER NOT DESIGNATED FOR REMOVAL. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND REPAIR ALL DAMAGE AT NO COST TO OWNER.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH TURF PER WRS STANDARDS.
- CONTRACTOR TO REFER TO ARCHITECTURAL PACKAGES FOR ADDITIONAL SITE PLANS.
- CONTRACTOR TO COORDINATE STAGING AREAS WITH OWNER. STAGING AREAS TO BE RESTORED TO EXISTING QUALITY OR BETTER AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
- EXISTING CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, MONUMENT BOXES, ETC WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE ADJUSTED TO MEET THE PROPOSED SURFACE.

**RCOC NOTES:**

- CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
- FULL DEPTH SAWCUT AND/OR MILL A BUTT JOINT, WITH A LOCATION/WIDTH AS DIRECTED BY RCOC INSPECTOR.
- 9" DEEP STRENGTH HMA SHALL CONSIST OF 2" MDOT 5E, OVER 3" MDOT 4E, OVER 4" MDOT 3E, OVER A SUITABLE BASE HMA SHALL BE PLACED IN 3 LIFTS.
- MATCH AND TIE THE PROPOSED CURB TO EXISTING CURB EPOXY COATED #4 BAR REQUIRED.
- MIN. DEPTH UNDER ROADBED IS FOUR FEET.
- WITHIN THE INFLUENCE OF THE ROADBED & SIDEWALK MDOT CLASS II, SAND, COMPACTED TO 95% MAX. UNIT DENSITY IS REQUIRED.
- RAMPS & SIDEWALKS MUST MEET ADA SPECIFICATIONS.
- KEEP ROADS CLEAN OF DIRT AND DEBRIS.
- HAND DIG AROUND ALL UTILITIES.

**SIGN LEGEND**

 SIGN "A" R1-1 36"x36"	 SIGN "C" R5-1 18"x18"	 SIGN "D" R7-8 12"x18"
 SIGN "E" R7-8B 12"x6"	 SIGN "F" R6-2R 12"x18"	 SIGN "G" R8-24 18"x24"
		 SIGN "H" 12"x18"

- NOTES:
- SIGNS SHALL BE CONSTRUCTED AND ERECTED PER CURRENT EDITION OF MMUTCD.
  - ALL SIGNS SHALL BE MOUNTED TO ONE 12' LONG, 3# GALV STEEL SIGN POST UNLESS NOTED OTHERWISE.
  - SIGN HEIGHT SHALL BE 7' TO BOTTOM OF SIGN PER MMUTCD.
  - ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.



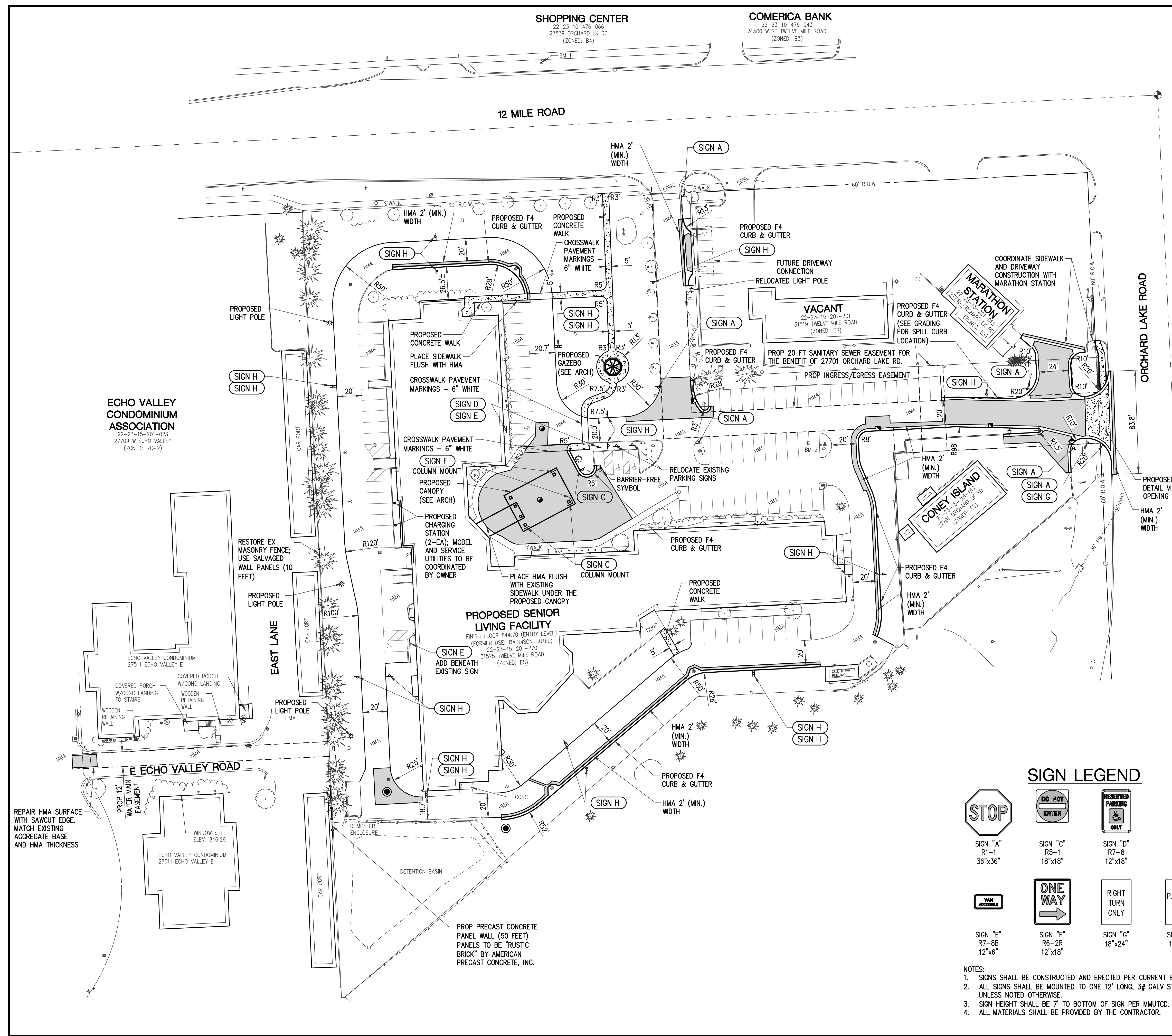
PLAN SUBMITTALS AND CHANGES	
DATE	DESCRIPTION
12-17-21	ISSUED FOR CITY REVIEW
03-21-22	REVISED FOR CITY REVIEW
5-6-22	REVISED FOR CITY REVIEW
6-16-22	REVISED FOR CITY REVIEW
3-22-24	REVISED UNIT TYPE AND COUNT

REV: C3.0  
JOB No: 20F0071



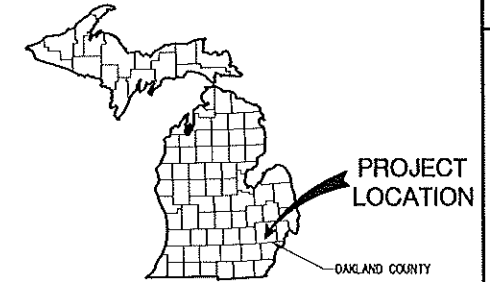
**ROWE PROFESSIONAL SERVICES COMPANY**  
27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331  
P: (248) 675-1096  
F: (800) 974-1704  
www.rowepsc.com

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
SITE PLAN SHEET





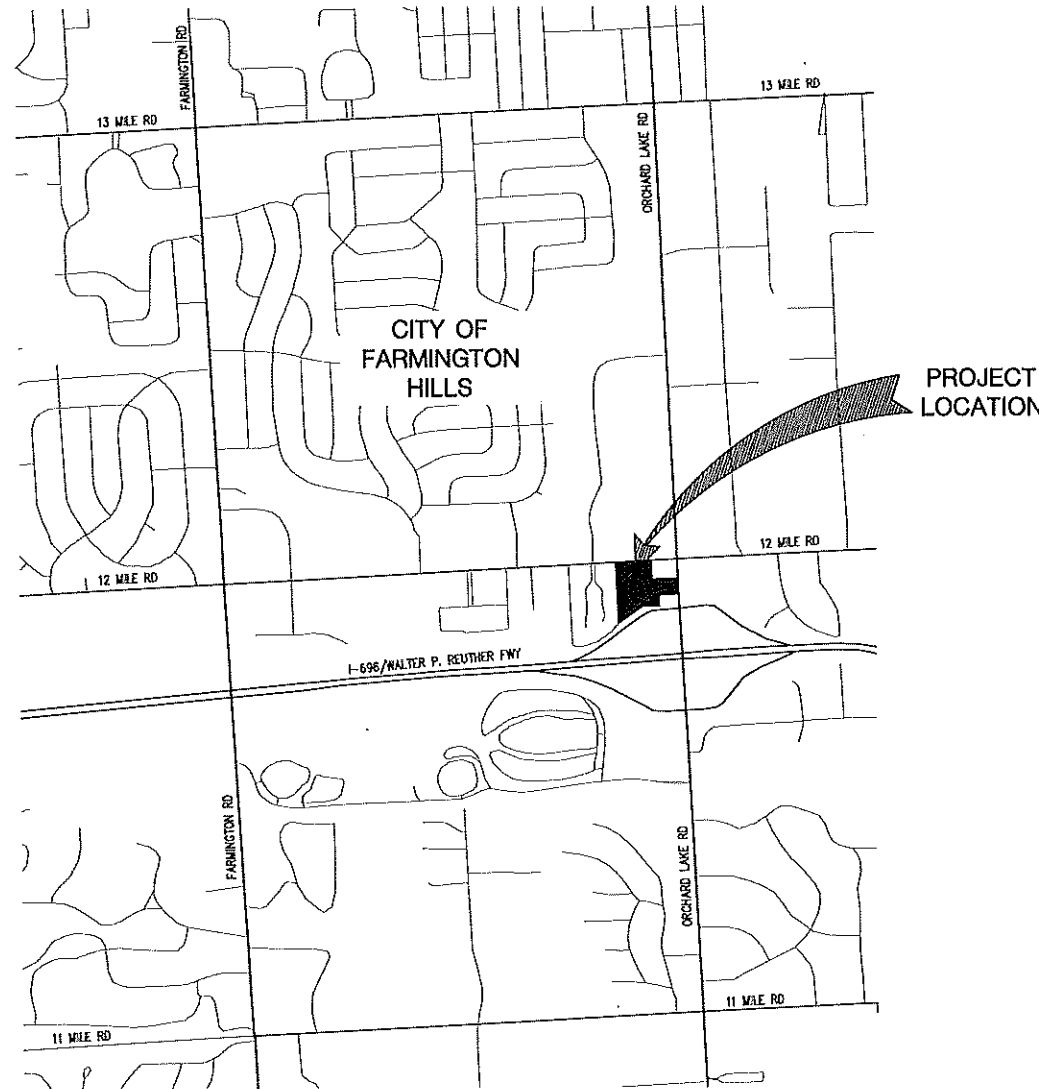
# CONSTRUCTION PLANS FOR COMFORT CARE SENIOR LIVING P.U.D. T.1N. - R.9E. SECTION 15 CITY OF FARMINGTON HILLS OAKLAND COUNTY, MICHIGAN



### UTILITY CONTACT LIST

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED FROM THEIR OWNERS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

AGENCY	UTILITY
1. OAKLAND COUNTY DRAIN COMMISSION ONE PUBLIC WORKS DR WATERFORD, MI 48328 CONTACT: CHRIS GIANAKOS TELEPHONE: (248)-858-1116 E-MAIL: GIANAKOS@OAKGOV.COM	SANITARY WATER MAIN STORM
2. OAKLAND COUNTY ROAD COMMISSION 1200 N TELEGRAPH WEST 49 PONTIAC, MI 48341 CONTACT: AHMAD JAWAD TELEPHONE: (248)-858-7250 E-MAIL: AJAWAD@RCOC.ORG	ROADS
3. MICHIGAN DEPARTMENT OF TRANSPORTATION 800 VANGUARD DRIVE PONTIAC, MI 48341 CONTACT: LORI SWANSON TELEPHONE: (248)-451-0001 E-MAIL: SWANSONL@MICHIGAN.GOV	ROADS
4. CONSUMERS ENERGY COMPANY 530 W WILLOW ST LANSING, MI 48906 CONTACT: KURT GOLDING TELEPHONE: (517)-374-2002 E-MAIL: MISSDIGDESIGNTICKETS@COMSENERGY.COM	GAS
5. DTE ENERGY COMPANY ONE ENERGY PLAZA, 518 SB DETROIT, MI 48226 CONTACT: TELEPHONE: 313-235-5632 E-MAIL: DESIGN_MISSDIG@DTEENERGY.COM	ELECTRIC
6. AT&T 54 N MILL ST, 4TH FLOOR PONTIAC, MI 48342 CONTACT: LINDA DENNISUK TELEPHONE: (248)-456-8256 E-MAIL: LD2154@ATT.COM	TELEPHONE CABLE
7. COMCAST 25626 TELEGRAPH RD SOUTHFIELD, MI 48034 CONTACT: CRAIG PUDAS PHONE: (248)-809-2715 E-MAIL: CRAIG_PUDAS@CABLE.COMCAST.COM	TELEPHONE CABLE
8. TURNKEY NETWORK SOLUTIONS (US-SIGNAL) CONTACT: ERICA BENNETT PHONE: (616) 455-9840 E-MAIL: LOCATEMAPS@TKNS.NET	FIBER



LOCATION MAP  
NOT TO SCALE



### SITE DEVELOPER INFORMATION

MANOR SENIOR LIVING LLC  
4180 HITTABAWASE ROAD  
SAGINAW, MI 48604  
DOUGLAS BOEHM  
248-930-7875

### PROJECT DESCRIPTION

REDEVELOPMENT OF THE EXISTING HOTEL LOCATED AT THE SOUTHWEST CORNER OF WEST 12 MILE ROAD AND ORCHARD LAKE ROAD. THE REDEVELOPMENT INCLUDES PAVEMENT REMOVAL, A NEW ACCESS DRIVE, A NEW CANOPY, SIDEWALKS, LANDSCAPING, AND MINOR DRAINAGE IMPROVEMENTS

### SHEET INDEX

- C1.0 COVER SHEET
- C1.1 LEGEND SHEET
- C1.2 NOTE SHEET
- C1.3 MISCELLANEOUS DETAIL SHEET
- C1.4-C1.6 STANDARD CITY DETAIL SHEETS
- C1.7-C1.12 STANDARD WRC DETAIL SHEETS
- C1.13 AQUA-SWRL DETAIL SHEET
- C2.0 EXISTING CONDITIONS SHEET
- C2.1 DEMOLITION PLAN SHEET
- C3.0 SITE PLAN SHEET
- C3.1 OVERALL GRADING SHEET
- C3.2-C3.6 GRADING DETAIL SHEETS
- C4.0 OVERALL UTILITY SHEET
- C4.1 PROPOSED STORM SEWER PROFILE SHEET
- C5.0 LANDSCAPE PLANTING PLAN SHEET
- C6.0 PROPOSED CONDITIONS SESC PLAN SHEET
- C6.1 WRC SESC DETAIL SHEET

### NPDES NOTE

FOR ALL CONSTRUCTION ACTIVITY THAT DISTURBS 5 ACRES OR MORE OF LAND THE OWNER OF THE PROPERTY SHALL OBTAIN AN NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM EGLE (ENVIRONMENT, GREAT LAKES & ENERGY) AS REQUIRED UNDER P.A. 245. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 4.95 ACRES. A NPDES PERMIT IS NOT REQUIRED FOR THIS PROJECT.

MATERIALS AND WORKMANSHIP FOR SIDEWALK CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FARMINGTON HILLS STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.

MATERIALS AND WORKMANSHIP FOR WATER MAIN AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.

MATERIALS AND WORKMANSHIP FOR ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH OAKLAND COUNTY ROAD COMMISSION STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.



Know what's below.  
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### PLAN SUBMITTALS AND CHANGES

DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:

SHT# C1.0  
JOB No: 20F0071

**ROWE PROFESSIONAL SERVICES COMPANY**



O: (248) 675-1096  
 F: (800) 974-1704  
 www.rowepsc.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 COVER SHEET

15: Prepared 03/07/2021 (User: Commission, Drawn: 07-2021-03)



**STRUCTURE SYMBOLS**

- ◻ EXISTING CATCH BASIN IN CURB LINE
- ◻ PROPOSED CATCH BASIN IN CURB LINE
- EXISTING CATCH BASIN IN GREEN SPACE
- PROPOSED CATCH BASIN IN GREEN SPACE
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- ▶ PROPOSED CULVERT END SECTION
- ) EXISTING HEADWALL
- ) PROPOSED HEADWALL
- EXISTING GATE VALVE AND BOX
- EXISTING WATER SHUT OFF (CURB BOX)
- PROPOSED GATE VALVE AND BOX
- EXISTING GATE VALVE AND WELL
- PROPOSED GATE VALVE AND WELL
- ✕ EXISTING SPRINKLER HEAD
- EXISTING WATER WELL
- ✦ EXISTING FIRE HYDRANT
- ✦ PROPOSED FIRE HYDRANT
- ✦ PROPOSED WATER MAIN FITTINGS
- EXISTING CLEAN OUT
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- ⊠ EXISTING MONITORING WELL

**EXISTING TOPOGRAPHICAL SYMBOLS**

- † SIGN
- † STREET SIGN
- END OF PIPE
- △ SWAMP OR WETLAND
- DECIDUOUS TREE
- ☀ CONIFEROUS TREE
- ✦ TREE STUMP
- MAIL BOX
- ⊠ SOIL BORING
- ROCK
- METAL POST
- BUMPER BLOCK

**UTILITY SYMBOLS**

- UTILITY POLE
- › GUY ANCHOR CABLE
- \* LIGHT POLE / ORNAMENTAL LIGHT
- ✦ POWER LIGHT POLE
- TELEPHONE MANHOLE
- ✦ UNDERGROUND GAS LINE MARKER
- GAS RISER
- GAS VENT
- GAS VALVE
- ⊕ RAILROAD SIGNAL
- \* METAL LIGHT POLE
- OUTLET
- CIRCUIT BREAKER PANEL
- ⊠ ELECTRICAL TRANSFORMER PAD
- ⊠ ELECTRICAL TRANSFORMER RISER
- ELECTRIC METER
- TELEPHONE PEDESTAL / RISER
- ⊠ TRAFFIC SIGNAL ON POLE
- PHONE BOOTH / PAY PHONE

**SURVEY SYMBOLS**

- MONUMENT
- ▲ BENCHMARK
- △ TRAVERSE POINT
- ⊠ SECTION CORNER
- FOUND SURVEY MONUMENTATION

**MISCELLANEOUS SYMBOLS**

- EX 1812 EXISTING STORM SEWER STRUCTURE NUMBER
- EX 2236 EXISTING SANITARY SEWER STRUCTURE NUMBER
- 1 PROPOSED STORM SEWER STRUCTURE NUMBER
- A PROPOSED SANITARY SEWER STRUCTURE NUMBER
- ~ FLOW DIRECTION
- ⊠ EXISTING RIP-RAP
- ⊠ PROPOSED RIP-RAP

**CAUTION SYMBOLS**

- CAUTION•• HAZARDOUS FLAMMABLE MATERIAL UNDERGROUND USED WITH UNDERGROUND GAS & ELECTRICAL LINES
- CAUTION•• FIBER OPTIC USED WITH FIBER OPTICS LINES

**PLAN VIEW LINE TYPES**

- 12" SW --- EXISTING STORM SEWER
- 12" CGC --- EXISTING CULVERT
- PROPOSED STORM SEWER LESS THAN 24"
- PROPOSED STORM SEWER 24" AND GREATER
- 12" SAN --- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- 12" WM --- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- SECTION LINE
- 60' ROW --- EXISTING RIGHT OF WAY
- 60' ROW --- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING CENTER LINE DITCH
- PROPOSED DITCH CENTERLINE
- EXISTING CENTER LINE ROADWAY
- PARCEL LINE / LOT LINE
- 0/11 --- EXISTING OVERHEAD UTILITIES
- U/G ELEC --- UNDERGROUND ELECTRICAL LINE
- 6" S-MP GAS --- GAS LINE OR PETROLEUM PIPELINE
- U/G TEL --- UNDERGROUND TELEPHONE LINE
- U/G CATV --- UNDERGROUND CABLE TV LINE
- U/G FIBER OPTIC --- UNDERGROUND FIBER OPTIC
- 11+00 --- PROJECT CONTROL LINE
- ~ TREE LINE
- ~ BRUSH LINE
- X-X-X-X- EXISTING FENCE
- X-X-X-X- PROPOSED FENCE
- EXISTING GUARD RAIL
- PROPOSED SLOPE STAKE LINE
- ○ ○ ○ ○ PROPOSED SILT FENCE

**TOPOGRAPHY**

- 510 --- EXISTING CONTOURS MAJOR
- 550 --- EXISTING CONTOURS MINOR
- 660 --- PROPOSED CONTOUR MAJOR
- 650 --- PROPOSED CONTOURS MINOR

**PARCEL INFORMATION**

401-069 PARCEL/TAX IDENTIFICATION NUMBER  
 #5324 ADDRESS/BUSINESS NAME

**PAVEMENT IDENTIFICATION**

- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER

**HATCHING LEGEND**

- [Dotted Hatch] PROPOSED HMA PAVING
- [Stippled Hatch] PROPOSED CONCRETE
- [Cross-hatch] REMOVE PAVEMENT
- X-X-X-X- REMOVE CURB AND GUTTER

**PROPOSED CALLOUTS**

- | TOPO CALLOUTS | PLAN VIEW |                               |
|---------------|-----------|-------------------------------|
| [ADJ]         | (ADJ)     | ADJUST STRUCTURE              |
| [ADJ-X]       | (ADJ-X)   | ADJUST STRUCTURE W/ NEW COVER |
| [ADJ-B/O]     | (ADJ-B/O) | ADJUST STRUCTURE BY OTHERS    |
| [REC]         | (REC)     | RECONSTRUCT STRUCTURE         |
| [REL]         | (REL)     | RELOCATE                      |
| [REL-B/O]     | (REL-B/O) | RELOCATE BY OTHERS            |
| [R]           | (R)       | REMOVE                        |
| [R&R]         | (R&R)     | REMOVE AND REPLACE            |
| [SALV]        | (SALV)    | SALVAGE                       |
| [SAVE]        | (S)       | SAVE                          |
| [ABN]         | (A)       | ABANDON                       |
|               | (C)       | CLEARING                      |
|               | (B)       | BULKHEAD                      |
|               | (SR-F)    | SIDEWALK RAMP TYPE            |
|               | (SO-2)    | SOIL EROSION CONTROL MEASURE  |



Know what's below.  
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PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:

SHT# C1.1  
JOB No: 20F0071



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: NO SCALE

**ROWE PROFESSIONAL SERVICES COMPANY**



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 F: (800) 974-1704  
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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 LEGEND SHEET

### GENERAL CONSTRUCTION NOTES

#### EMERGENCY CONTACTS

BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

#### UNDERGROUND UTILITY IDENTIFICATION AND LOCATION

THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171 OR 811) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

#### PUBLIC UTILITIES

EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

#### VERIFICATION OF UNDERGROUND UTILITIES

THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE OWNER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE OWNER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

#### UTILITY SERVICE

UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

#### PRIVATE IRRIGATION SYSTEMS

THE CONTRACTOR SHALL SAVE AND PROTECT THE EXISTING IRRIGATION SYSTEM DURING CONSTRUCTION. ANY DAMAGES WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

#### MAINTAINING TRAFFIC

LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES 72 HOURS IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES 72 HOURS IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

#### TRAFFIC SIGNS

TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

#### SCHEDULE

THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

#### ALIGNMENT & GRADING

ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE R/W ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE R/W ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS FOLLOWS:

- \* CURB INLETS - THE ELEVATION OF THE TOP OF CURB
- \* ALL OTHER INLETS - THE ELEVATION OF THE FLOW LINE

WHERE R/W ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

#### CONSTRUCTION STAKING

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE OWNER, THE CONTRACTOR SHALL REQUEST STAKING AT LEAST THREE WORKING DAYS IN ADVANCE.

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE OWNER, STAKING WILL BE PROVIDED ONE TIME. THE CONTRACTOR SHALL PROTECT AND PRESERVE SURVEY CONTROL AND STAKING. RE-STAKING WILL BE AT THE CONTRACTOR'S EXPENSE.

#### SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS

THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES, A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

#### PROTECTION OF TREES, SHRUBS, AND LANDSCAPING

ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

#### CONSTRUCTION SIGNING AND BARRICADING

THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, TRAFFIC REGULATORS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

#### TURF ESTABLISHMENT

ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

#### ADA COMPLIANCE

ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

#### EARTHWORK

THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE HIS BID ON HIS DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR BLENDING IN THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

#### BACKFILL AND EMBANKMENT

BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS II AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE OWNER, AND PROVIDE THE OWNER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE OWNER 72 HOURS IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

#### DENSITY TESTING

THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

#### WORK HOURS

UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER:

- MONDAY THROUGH FRIDAY 7 A.M. TO 7 P.M.
- SATURDAY 7 A.M. TO 7 P.M.

THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

#### DRAINAGE

THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.

WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES, THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.

DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.

#### SITE PROJECTS

##### ADJUSTING STRUCTURES

WHERE CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, AND MONUMENT BOXES ARE TO BE ADJUSTED TO MEET A NEW PAVEMENT SURFACE ELEVATION, THE FINAL ADJUSTMENT SHALL NOT BE COMPLETED UNTIL ALL PAVEMENT COURSES HAVE BEEN PLACED EXCEPT THE FINAL COURSE. THE FINAL ADJUSTMENT SHALL BE COMPLETED JUST PRIOR TO PLACEMENT OF THE FINAL COURSE OF PAVEMENT.

THE MATERIALS AND PROCEDURES FOR ADJUSTING STRUCTURES SHALL MEET THE REQUIREMENTS OF THE CITY OF FARMINGTON HILLS.

#### SUBGRADE PREPARATION

TOPSOIL, PEAT, AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED.

SOFT AND YIELDING SOILS SHALL BE REMOVED OR DRIED IF THE RESULT OF EXCESSIVE MOISTURE CONTENT.

PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENT ON A SUBGRADE, THE SUBGRADE SHALL BE PROOF-ROLLED TO DETERMINE THE SUITABILITY OF THE SUBGRADE. THE CONTRACTOR SHALL DRIVE A HEAVY PIECE OF WHEELED CONSTRUCTION EQUIPMENT OVER THE SUBGRADE WHILE THE OWNER IS OBSERVING. THE CONSTRUCTION OF FILLS, SUBBASE, OR PAVEMENTS SHALL NOT PROCEED UNTIL THE SUBGRADE HAS BEEN DEMONSTRATED TO BE FREE OF SOFT AREAS.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE MOISTURE CONTENT OF SUBGRADE SOILS WITHIN A SUITABLE RANGE TO ALLOW FOR COMPACTION TO THE REQUIRED DENSITY. WHEN THE SOIL IS TOO DRY, THE CONTRACTOR SHALL ADD WATER. WHEN THE SOIL IS TOO WET, THE CONTRACTOR SHALL PROVIDE DRAINAGE OR AERATE THE SOIL.

THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT, PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENTS.

#### CURB AND GUTTERS

THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DIMENSIONS OF CURB OPENINGS FOR DRIVEWAYS, RAMPS, AND DRAINAGE STRUCTURES.

#### HOT MIX ASPHALT (HMA) PAVING

PAVEMENTS WHICH ARE TO BE OVERLAD WITH A NEW PAVEMENT COURSE SHALL BE SWEEPED TO REMOVE ALL DIRT AND DEBRIS.

A BITUMINOUS BOND COAT SHALL BE APPLIED TO PAVEMENTS WHICH ARE TO BE OVERLAD WITH A NEW PAVEMENT COURSE AND ALLOWED TO CURE PRIOR TO CONSTRUCTING THE NEW PAVEMENT COURSE.

HMA PAVEMENT SHALL NOT BE PLACED WHEN THE SURFACE BEING OVERLAD IS WET, OR WHEN RAIN IS FORECAST OR THREATENING.

#### DRIVEWAY CONSTRUCTION

DRIVEWAY SLOPES SHALL NOT EXCEED 10%, EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE ON THE PLANS OR DIRECTED BY THE OWNER.

THE CONTRACTOR SHALL PROVIDE PROPERTY OWNERS WITH 72-HOUR NOTICE BEFORE REMOVING AND REPLACING AN EXISTING DRIVEWAY.

#### SIDEWALK CONSTRUCTION

SIDEWALKS SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE OF THE SIDEWALK AND ADJACENT SURFACES.

EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SURFACES, SIDEWALK SHALL BE CONSTRUCTED WITH A CROSS SLOPE SLOPED TOWARD THE STREET.

SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%.

IN TURF AREAS, THE SURFACE OF THE SIDEWALK SHALL BE ABOUT 1/4 INCH HIGHER THAN THE ADJACENT GROUND SURFACES, EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SIDEWALKS, CURBS, OR PAVEMENTS.

SIDEWALK SHALL BE CONSTRUCTED ON A SAND BASE, COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN SIDEWALK FORMS HAVE BEEN SET AND THE SAND BASE PREPARED. CONCRETE SHALL NOT BE PLACED UNTIL THE OWNER HAS OBSERVED THE FORMS. CONCRETE DELIVERY SHALL BE SCHEDULED TO ALLOW SUFFICIENT TIME FOR ADJUSTMENT OF THE FORMS, IN THE EVENT THAT ADJUSTMENT IS NECESSARY.

THE CONTRACTOR SHALL PROTECT FRESH CONCRETE FROM DAMAGE BY THE WEATHER, TRAFFIC, OR VANDALISM. DAMAGED CONCRETE SHALL BE REPLACED BY THE CONTRACTOR'S EXPENSE.

#### WATER MAIN CONSTRUCTION NOTES

SEE DETAIL SHEETS C1.6-C1.10 FOR OAKLAND COUNTY WATER RESOURCE COMMISSIONER WATER MAIN DETAILS AND NOTES.

#### STORM SEWER CONSTRUCTION NOTES

SEE DETAIL SHEET C1.11 FOR OAKLAND COUNTY WATER RESOURCE COMMISSIONER STORM DETAILS AND NOTES.



PLAN DATE: JULY 2022

PROJECT MGR: PTO

REVIEWER: REH

SCALE: NO SCALE

**ROWE PROFESSIONAL SERVICES COMPANY**

O: (248) 675-1096  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.L.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
**NOTE SHEET**

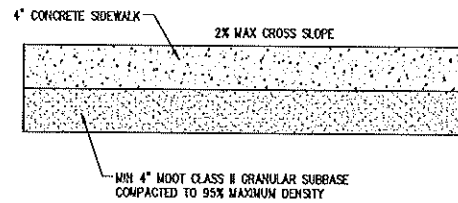


PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:

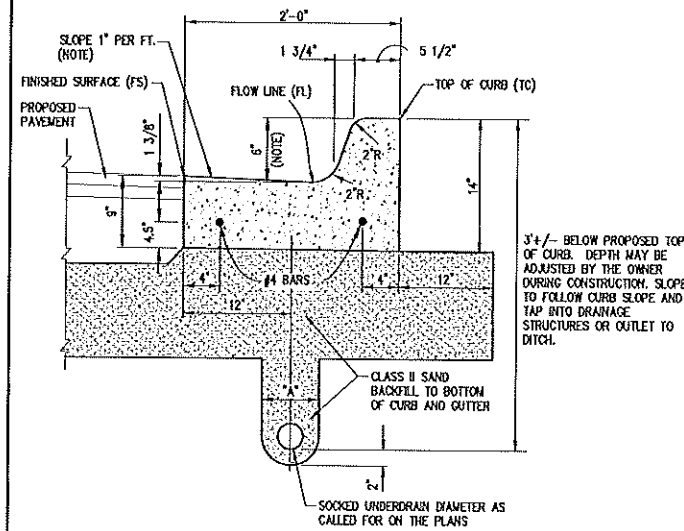
SHT# **C1.2**

JOB No: 20F0071



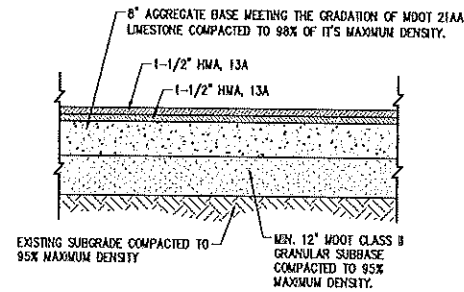
- NOTES:
- CONTRACTOR SHALL PLACE 6" NON-REINFORCED CONCRETE SIDEWALK THROUGH OR ADJACENT TO COMMERCIAL DRIVEWAYS
  - SEAL ALL EXPANSION JOINTS, BUILDING TO SIDEWALK JOINTS, SIDEWALK TO BRICK JOINTS, AND CURB TO BRICK JOINTS WITH SELF-LEVELING POLYURETHANE JOINT SEALANT (GRAY) OR EQUAL

**SIDEWALK DETAIL**  
NOT TO SCALE



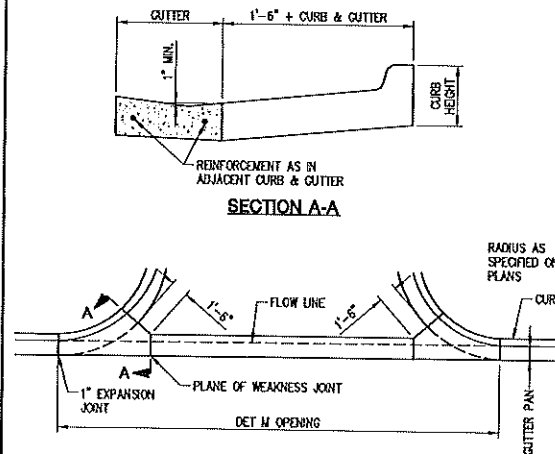
- NOTES:
- REDUCE HEIGHT TO 1/2' FOR LOW BACK CURB (RD OR DD)
  - REDUCE SLOPE TO 1:20 FOR LOW BACK SLOPE.
  - CURB AND GUTTER TO BE PLACED ON A MIN OF 12" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

**CURB AND GUTTER DETAIL**  
NOT TO SCALE

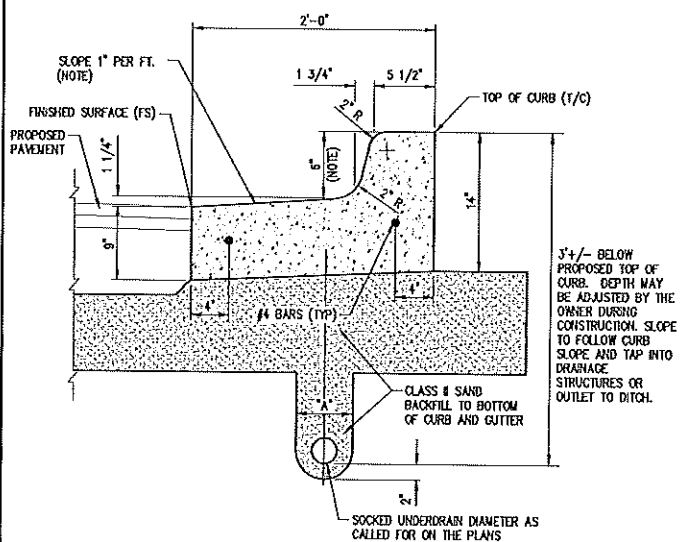


HMA APPLICATION CHART				
IDENT NO	ITEM/HMA PAVEMENT	RATE OF APPLICATION	PERFORMANCE GRADE	COMMENTS
13A-T	HMA, 13A	1.5"	58-28	TOP COURSE (AW-220 MINIMUM)
13A-L	HMA, 13A	1.5"	58-28	LEVELING COURSE
HP	HMA, 13A	VARIABLES	58-28	HAND PATCHING FOR ROADWAY REPLACEMENT. MATCH EX ROADWAY THICKNESS (MAX LIFT 2 INCHES)
-	HMA BOND COAT	0.05-0.15 GAL	-	FOR INFORMATION ONLY

**HMA PAVEMENT CROSS SECTION**  
NOT TO SCALE



**DETAIL M OPENING**  
NOT TO SCALE

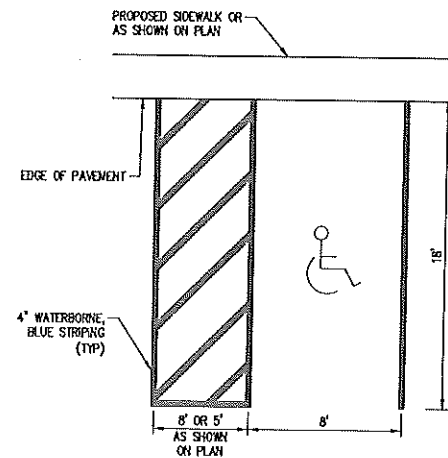


- NOTES:
- REDUCE HEIGHT TO 1/2' FOR LOW BACK CURB (RD OR DD)
  - REDUCE SLOPE TO 1:20 FOR LOW BACK SLOPE.
  - CURB AND GUTTER TO BE PLACED ON A MIN OF 12" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

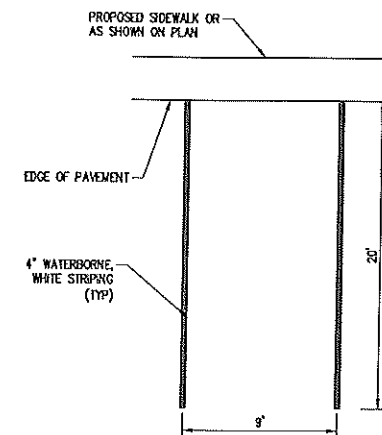
**SPILL CURB DETAIL**  
NOT TO SCALE



- NOTE:
- ALL SIGNS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - ALL BARRIER FREE PARKING SIGNS SHALL BE MOUNTED ON 3 LB STEEL POST WITH 6" CLEARANCE TO GROUND SURFACE.



**BARRIER FREE PARKING SIGNAGE AND PAVEMENT MARKINGS**  
NOT TO SCALE

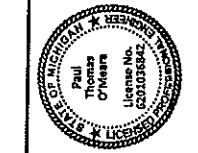


**STANDARD PARKING SPACE LAYOUT (FOR REFERENCE ONLY)**  
NOT TO SCALE



Know what's below.  
Call before you dig.

PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

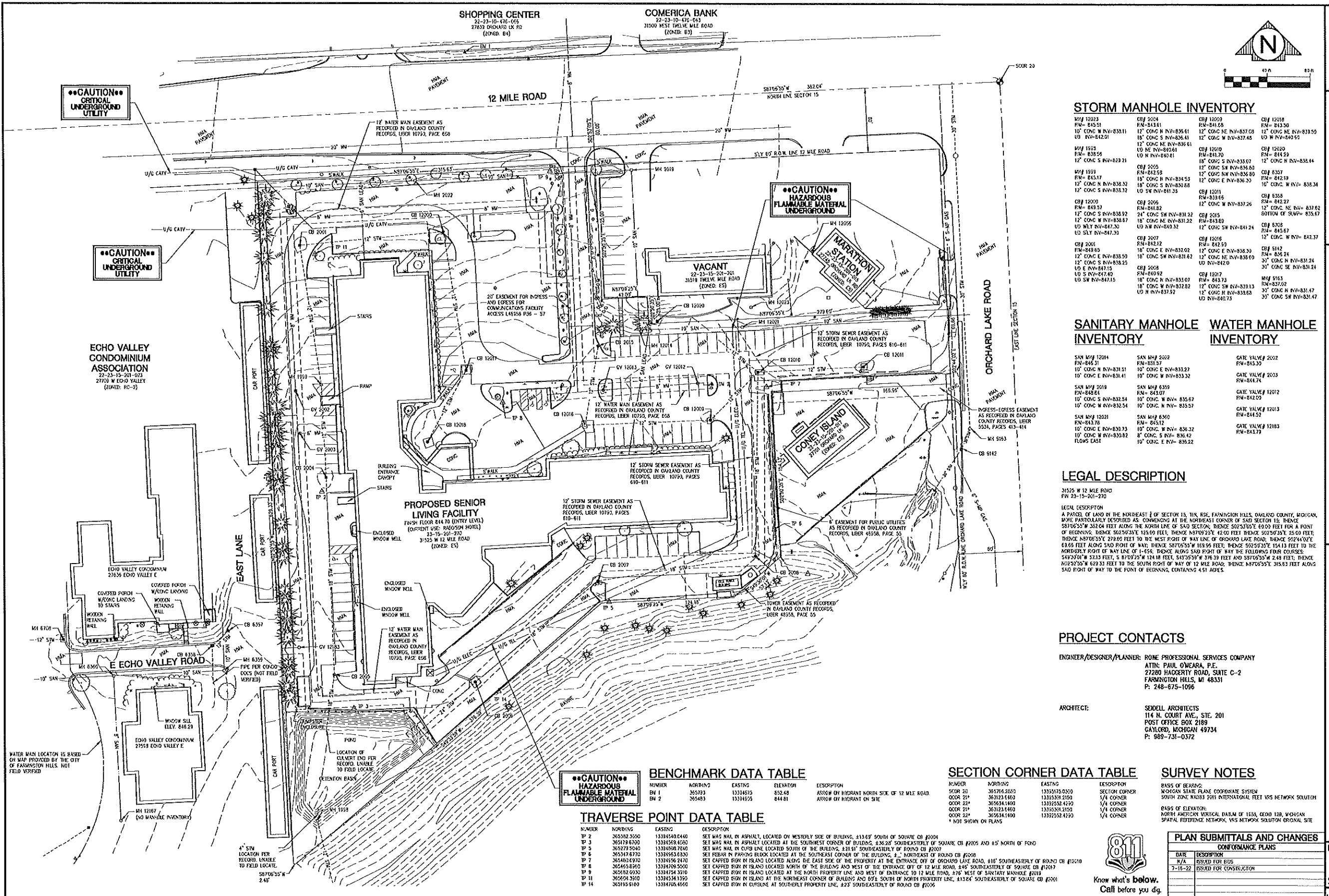


PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: NO SCALE

**ROWE PROFESSIONAL SERVICES COMPANY**  
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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
MISCELLANEOUS DETAIL SHEET

REV:  
SHT# **C1.3**  
JOB No: 20F0071



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=40'

### STORM MANHOLE INVENTORY

MH 12023 RN= 845.51 10' CONC W INV=838.11 UD INV=842.01	CB 12004 RN= 841.61 12' CONC W INV=836.61 10' CONC S INV=832.21	CB 12009 RN= 841.68 12' CONC NE INV=837.08 12' CONC W INV=837.48	CB 12018 RN= 842.50 12' CONC NE INV=839.50 UD W INV=840.50
MH 1922 RN= 838.56 12' CONC S INV=829.21	CB 12005 RN= 842.58 10' CONC W INV=834.58 10' CONC S INV=830.18	CB 12010 RN= 841.70 10' CONC S INV=833.07 12' CONC W INV=838.44	CB 12020 RN= 844.29 12' CONC NE INV=839.60 12' CONC E INV=836.30
MH 1929 RN= 845.17 12' CONC W INV=836.32 12' CONC S INV=833.32	CB 12006 RN= 841.82 12' CONC SW INV=831.82 12' CONC NE INV=831.22 UD NW INV=847.30 UD SLY INV=847.30	CB 12015 RN= 841.69 12' CONC SW INV=841.24 12' CONC W INV=842.37	CB 12021 RN= 843.65 12' CONC W INV=837.26 12' CONC NE INV=837.62 SOUTH OF SWP= 835.67
CB 12003 RN= 849.37 12' CONC S INV=838.92 12' CONC W INV=838.67 UD WLY INV=847.30 UD SLY INV=847.30	CB 12007 RN= 842.12 10' CONC E INV=832.02 10' CONC SW INV=831.62 12' CONC W INV=841.24	CB 12016 RN= 842.59 10' CONC E INV=838.59 12' CONC NE INV=838.69 UD INV=842.00	CB 12017 RN= 842.59 12' CONC E INV=838.59 12' CONC NE INV=838.69 UD INV=842.00
CB 2001 RN= 849.65 12' CONC E INV=838.50 12' CONC S INV=838.25 UD E INV=847.15 UD SW INV=847.15	CB 12008 RN= 840.92 10' CONC E INV=832.02 10' CONC SW INV=831.62 12' CONC W INV=841.24	CB 12019 RN= 843.73 12' CONC SW INV=839.13 12' CONC W INV=831.47 UD INV=840.73	MH 5163 RN= 837.02 30' CONC W INV=831.47 30' CONC SW INV=831.47

### SANITARY MANHOLE INVENTORY

SAN MH 12014 RN= 846.31 10' CONC W INV=831.51 10' CONC E INV=831.41	SAN MH 2002 RN= 851.37 10' CONC E INV=833.27 10' CONC W INV=833.32	GATE VALVE 2002 RN= 845.30	GATE VALVE 2003 RN= 844.74
SAN MH 2018 RN= 848.64 10' CONC S INV=832.54 10' CONC W INV=832.54	SAN MH 6359 RN= 843.07 10' CONC W INV= 835.67 10' CONC E INV= 835.57	GATE VALVE 12012 RN= 842.09	GATE VALVE 12013 RN= 844.52
SAN MH 12021 RN= 843.76 10' CONC E INV=830.73 10' CONC S INV=830.82 FLOWS EAST	SAN MH 6360 RN= 843.12 10' CONC W INV= 836.32 8' CONC S INV= 836.42 10' CONC E INV= 835.22	GATE VALVE 12018 RN= 841.79	

### LEGAL DESCRIPTION

3155 W 12 MILE ROAD  
 PN 23-15-201-270

LEGAL DESCRIPTION  
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 15, T14N, R3E, FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15; THENCE S87°06'55"W 352.04 FEET ALONG THE NORTH LINE OF SAID SECTION 15; THENCE S02°23'05"E 60.00 FEET FOR A POINT OF BEGINNING; THENCE S02°50'52"E 125.00 FEET; THENCE N10°09'20"E 42.00 FEET; THENCE S02°50'31"E 25.00 FEET; THENCE N87°06'55"E 278.60 FEET TO THE WEST POINT OF WAY LINE OF ORCHARD LAKE ROAD; THENCE S02°24'02"E 68.65 FEET ALONG SAID POINT OF WAY; THENCE S87°06'55"W 169.56 FEET; THENCE S02°50'31"E 154.13 FEET TO THE NORTHERLY POINT OF WAY LINE OF I-696; THENCE ALONG SAID POINT OF WAY THE FOLLOWING FOUR COURSES: S49°30'00"W 52.13 FEET, S 87°06'55"W 124.18 FEET, S02°50'31"E 126.39 FEET AND S87°06'55"W 2.48 FEET; THENCE N02°32'55"W 69.33 FEET TO THE SOUTH POINT OF WAY OF 12 MILE ROAD; THENCE INTERSECTING 3155.63 FEET ALONG SAID POINT OF WAY TO THE POINT OF BEGINNING, CONTAINING 4.51 ACRES.

### PROJECT CONTACTS

ENGINEER/DESIGNER/PLANNER: ROWE PROFESSIONAL SERVICES COMPANY  
 ATTN: PAUL O'MEARA, P.E.  
 27280 HAGGERTY ROAD, SUITE C-2  
 FARMINGTON HILLS, MI 48331  
 P: 248-675-1096

ARCHITECT: SEIDELL ARCHITECTS  
 114 N. COURT AVE., STE. 201  
 POST OFFICE BOX 2189  
 GAYLORD, MICHIGAN 49734  
 P: 989-731-0372

### BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 1	365793	13334675	852.48	ARROW ON HYDRANT NORTH SIDE OF 12 MILE ROAD
BM 2	365843	13334625	844.81	ARROW ON HYDRANT ON SITE

### SECTION CORNER DATA TABLE

NUMBER	NORTHING	EASTING	DESCRIPTION
SCOR 20	365796.6283	13335815.0250	SECTION CORNER
OCOR 21*	365823.6160	13315359.2150	1/4 CORNER
OCOR 22*	365634.1160	1332552.4290	1/4 CORNER
OCOR 21*	365823.6160	13315359.2150	1/4 CORNER
OCOR 22*	365634.1160	1332552.4290	1/4 CORNER

\* NOT SHOWN ON PLANS

### SURVEY NOTES

BASIS OF BEARING:  
 MICHIGAN STATE PLANE COORDINATE SYSTEM  
 SOUTH ZONE NAD83 2011 INTERNATIONAL FEET VSS NETWORK SOLUTION

PLANS OF ELEVATION:  
 NORTH AMERICAN VERTICAL DATUM OF 1988, GEOID 128, MICHIGAN  
 SPATIAL REFERENCE NETWORK, VSS NETWORK SOLUTION ORIGINAL SITE

### TRAVERSE POINT DATA TABLE

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 2	365582.3550	13384540.0440	SET MARK NAIL IN ASPHALT, LOCATED ON WESTERN SIDE OF BUILDING, 113.87' SOUTH OF SQUARE CB #2004
TP 3	365797.6700	13384569.4280	SET MARK NAIL IN ASPHALT, LOCATED AT THE SOUTHWEST CORNER OF BUILDING, 336.26' SOUTHEASTERNLY OF SQUARE CB #2005 AND 45' NORTH OF POND
TP 4	365827.9040	13384508.7640	SET MARK NAIL IN CURB LINE, LOCATED SOUTH OF THE BUILDING, 421.61' SOUTHWESTERNLY OF ROUND CB #2007
TP 5	365317.6770	13384563.6830	SET REBAR IN PARKING BLOCK LOCATED AT THE SOUTHEAST CORNER OF THE BUILDING, 4.1' NORTHEAST OF ROUND CB #2008
TP 7	365483.6970	13384586.2470	SET CAPPED IRON IN ISLAND LOCATED ALONG THE EAST SIDE OF THE PROPERTY AT THE ENTRANCE OFF OF ORCHARD LAKE ROAD, 416' SOUTHWESTERNLY OF ROUND CB #2010
TP 8	365445.6290	13384705.5500	SET CAPPED IRON IN ISLAND LOCATED NORTH OF THE BUILDING AND WEST OF THE ENTRANCE OFF OF 12 MILE ROAD, 446' SOUTHWESTERNLY OF SQUARE CB #2017
TP 9	365682.6930	13384754.3310	SET CAPPED IRON IN ISLAND LOCATED AT THE NORTH PROPERTY LINE AND WEST OF ENTRANCE TO 12 MILE ROAD, 476' WEST OF SANITARY MANHOLE #2019
TP 11	365604.3910	13384534.1350	SET CAPPED IRON IN ISLAND AT THE NORTHEAST CORNER OF BUILDING AND 876' SOUTH OF NORTH PROPERTY LINE, 413.84' SOUTHWESTERNLY OF SQUARE CB #2011
TP 14	365195.9189	13384705.4650	SET CAPPED IRON IN CURBLINE AT SOUTHERLY PROPERTY LINE, 223' SOUTHWESTERNLY OF ROUND CB #2006

### PLAN SUBMITTALS AND CHANGES

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-15-22	ISSUED FOR CONSTRUCTION

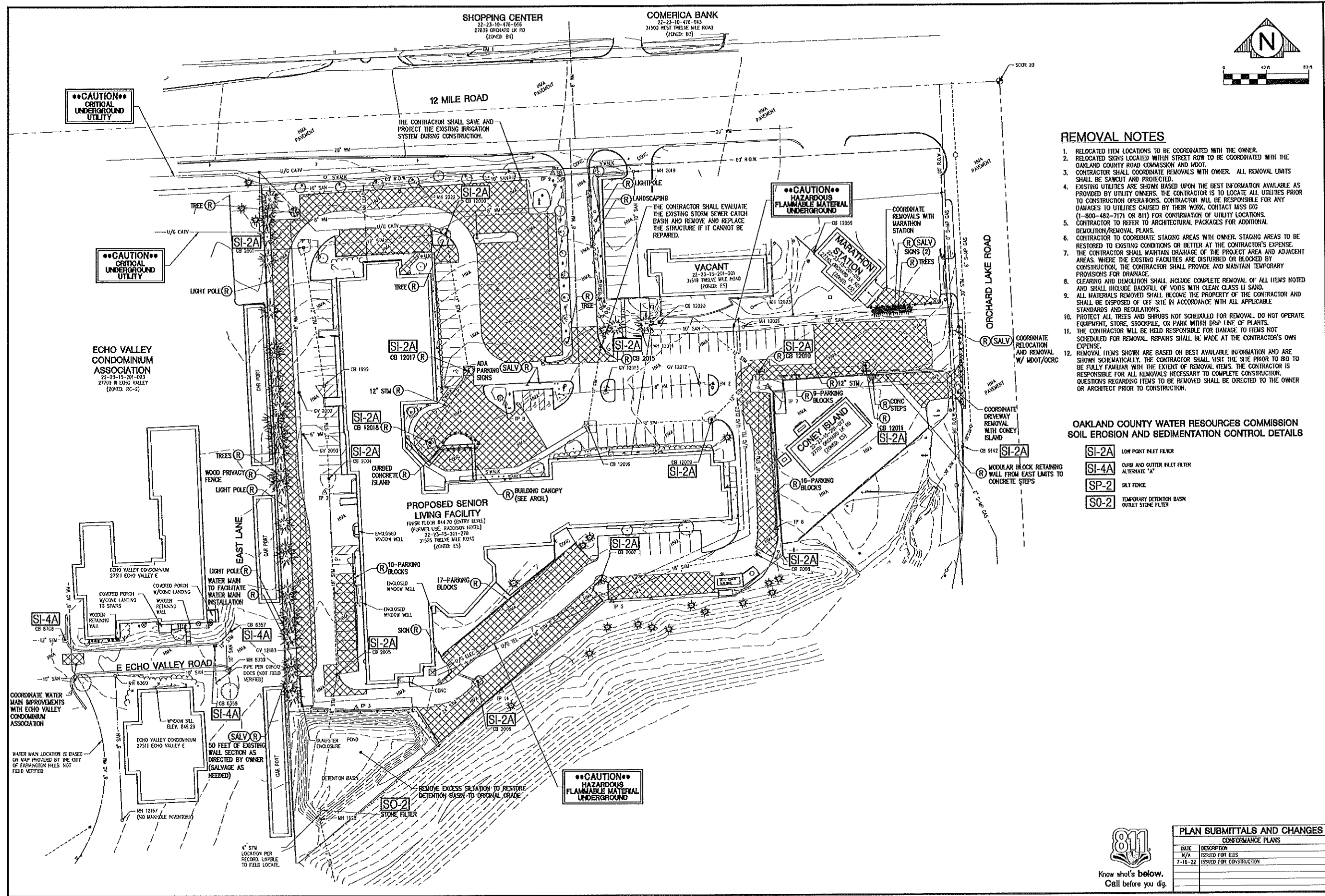
PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 EXISTING CONDITIONS SHEET

ROWE PROFESSIONAL SERVICES COMPANY  
 27280 HAGGERTY ROAD, SUITE C-2  
 FARMINGTON HILLS, MI 48331  
 C: (248) 675-1096  
 F: (800) 974-1704  
 WWW.ROWEPSC.COM

REV: \_\_\_\_\_  
 SHT# **C2.0**  
 JOB No: 20F0071







PLAN DATE: JULY 2022  
 PROJECT NO: PTO  
 REVIEWER: REH  
 SCALE: 1"=40'

**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 875-1096  
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 www.rowepsc.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 DEMOLITION PLAN SHEET

**REMOVAL NOTES**

1. RELOCATED ITEM LOCATIONS TO BE COORDINATED WITH THE OWNER.
2. RELOCATED SIGNS LOCATED WITHIN STREET ROW TO BE COORDINATED WITH THE OAKLAND COUNTY ROAD COMMISSION AND MDOT.
3. CONTRACTOR SHALL COORDINATE REMOVALS WITH OWNER. ALL REMOVAL LIMITS SHALL BE SAWCUT AND PROTECTED.
4. EXISTING UTILITIES ARE SHOWN BASED UPON THE BEST INFORMATION AVAILABLE AS PROVIDED BY UTILITY OWNERS. THE CONTRACTOR IS TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION OPERATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES CAUSED BY THEIR WORK. CONTACT MISS DIG (1-800-482-7171 OR 811) FOR CORRECTION OF UTILITY LOCATIONS.
5. CONTRACTOR TO REFER TO ARCHITECTURAL PACKAGES FOR ADDITIONAL DEMOLITION/REMOVAL PLANS.
6. CONTRACTOR TO COORDINATE STAGING AREAS WITH OWNER. STAGING AREAS TO BE RESTORED TO EXISTING CONDITIONS OR BETTER AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
8. CLEARING AND DEMOLITION SHALL INCLUDE COMPLETE REMOVAL OF ALL ITEMS NOTED AND SHALL INCLUDE BACKFILL OF VOIDS WITH CLEAN CLASS II SAND.
9. ALL MATERIALS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
10. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRP LINE OF PLANTS.
11. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
12. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE OWNER OR ARCHITECT PRIOR TO CONSTRUCTION.

**OAKLAND COUNTY WATER RESOURCES COMMISSION  
 SOIL EROSION AND SEDIMENTATION CONTROL DETAILS**

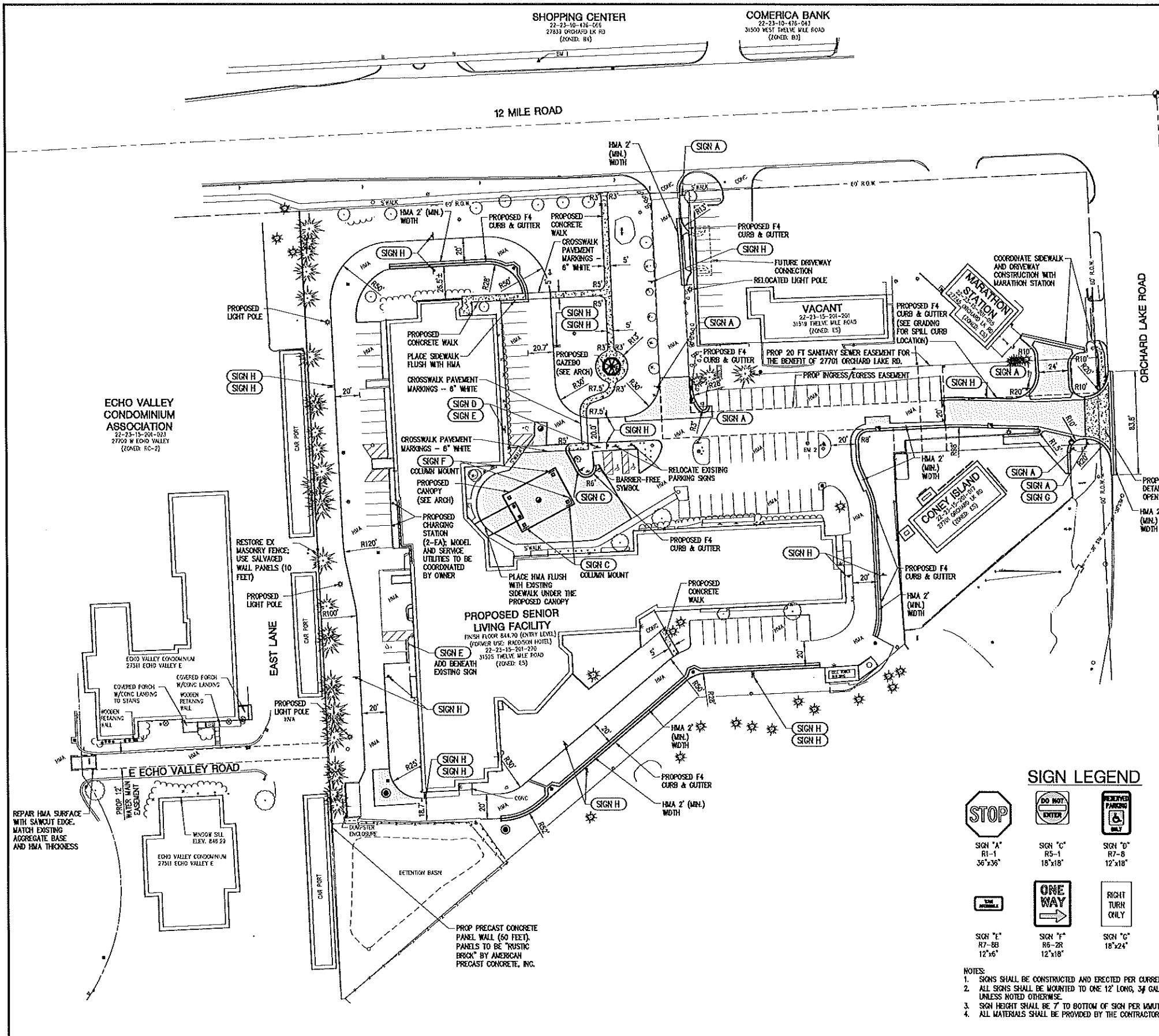
- SI-2A LOW POINT INLET FILTER
- SI-4A CURB AND OUTER INLET FILTER ALTERNATE "A"
- SP-2 SALT FENCE
- SO-2 TEMPORARY DETENTION BASIN OUTLET STONE FILTER



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
R/A	ISSUED FOR BIDS
7-18-22	ISSUED FOR CONSTRUCTION

REV:  
 SHEET# **C2.1**  
 JOB No: 20F0071

PLN 20F0071-001.dwg (Construction Drawings) 07/2022 2:11 PM



**SITE INFORMATION**

PROPERTY ADDRESS: 31525 TWELVE MILE ROAD FARMINGTON HILLS, MI 48334

APPLICANT: MANOR SENIOR LIVING LLC  
ATTN: DOUGLAS BOEHM  
4180 TITABAWASEE ROAD  
SAGINAW, MI 48604  
P: 248-930-7875

PROPOSED UNITS: MEMORY CARE: 21  
ASSISTED LIVING (STUDIO): 11  
ASSISTED LIVING (1-BEDROOM): 40  
INDEPENDENT LIVING (STUDIO): 11  
INDEPENDENT LIVING (1 BEDROOM): 41  
INDEPENDENT LIVING (2 BEDROOM): 4

TOTAL SITE AREA: 4.95 ACRE

PARKING SUMMARY: EXISTING PARKING SPACES - 290 SPACES (INCLUDING 7 B.F. SPACES)  
REQUIRED PARKING SPACES - 81 SPACES (INCLUDING 4 B.F. SPACES)  
PROPOSED PARKING SPACES - 85 SPACES (INCLUDING 5 B.F. SPACES)

PARKING SPACE SIZE - 9 FEET WIDE, 20 FEET LONG  
MINIMUM AISLE WIDTH = 20 FEET

**PROJECT CONTACTS**

ENGINEER/DESIGNER/PLANNER: ROWE PROFESSIONAL SERVICES COMPANY  
ATTN: PAUL O'NEARA, P.E.  
27280 HAGGERTY ROAD, SUITE C-2  
FARMINGTON HILLS, MI 48331  
P: 248-675-1099

ARCHITECT: SEIDELL ARCHITECTS  
114 N. COURT AVE., STE. 201  
POST OFFICE BOX 2189  
GAYLORD, MICHIGAN 49734  
P: 989-731-0372

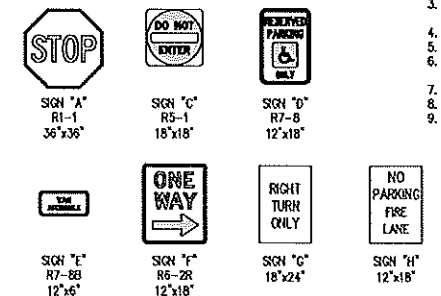
**SITE PLAN NOTES**

1. RELOCATED SIGNS LOCATED WITHIN ORCHARD LAKE ROAD RIGHT OF WAY TO BE COORDINATED WITH THE GARLAND COUNTY ROAD COMMISSION AND MDOT.
2. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS.
3. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
4. PROTECT ALL STORM SEWER NOT DESIGNATED FOR REMOVAL. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND REPAIR ALL DAMAGE AT NO COST TO OWNER.
5. ALL DISTURBED AREAS SHALL BE RESTORED WITH TURF PER MRS STANDARDS.
6. CONTRACTOR TO REFER TO ARCHITECTURAL PACKAGES FOR ADDITIONAL SITE PLANS.
7. CONTRACTOR TO COORDINATE STAGING AREAS WITH OWNER. STAGING AREAS TO BE RESTORED TO EXISTING QUALITY OR BETTER AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
10. EXISTING CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, MONUMENT BOXES, ETC WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE ADJUSTED TO MEET THE PROPOSED SURFACE.

**RCOC NOTES:**

1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
2. FULL DEPTH SAWCUT AND/OR WALL A BUTT JOINT, WITH A LOCATION/WIDTH AS DIRECTED BY RCOC INSPECTOR.
3. 9" DEEP STRENGTH HMA SHALL CONSIST OF 2" MDOT 5E, OVER 3" MDOT 4E, OVER 4" MDOT 3E, OVER A SUITABLE BASE. HMA SHALL BE PLACED IN 3 LIFTS.
4. MATCH AND THE PROPOSED CURB TO EXISTING CURB EPOXY COATED #4 BAR REQUIRED.
5. MIN. DEPTH UNDER ROADBED IS FOUR FEET.
6. WITHIN THE INFLUENCE OF THE ROADBED & SIDEWALK MDOT CLASS II, SAND, COMPACTED TO 95% MAX. UNIT DENSITY IS REQUIRED.
7. RAMPS & SIDEWALKS MUST MEET ADA SPECIFICATIONS.
8. KEEP ROADS CLEAN OF DIRT AND DEBRIS.
9. HAND DIG AROUND ALL UTILITIES.

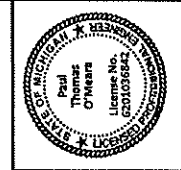
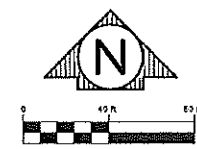
**SIGN LEGEND**



- NOTES:
1. SIGNS SHALL BE CONSTRUCTED AND ERECTED PER CURRENT EDITION OF MANUTCO.
  2. ALL SIGNS SHALL BE MOUNTED TO ONE 12' LONG, 3/4 GALV STEEL SIGN POST UNLESS NOTED OTHERWISE.
  3. SIGN HEIGHT SHALL BE 7' TO BOTTOM OF SIGN PER MANUTCO.
  4. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022

PROJECT MGR: PTO

REVIEWER: REH

SCALE: 1"=40'

**ROWE PROFESSIONAL SERVICES COMPANY**

C: (248) 675-1099  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

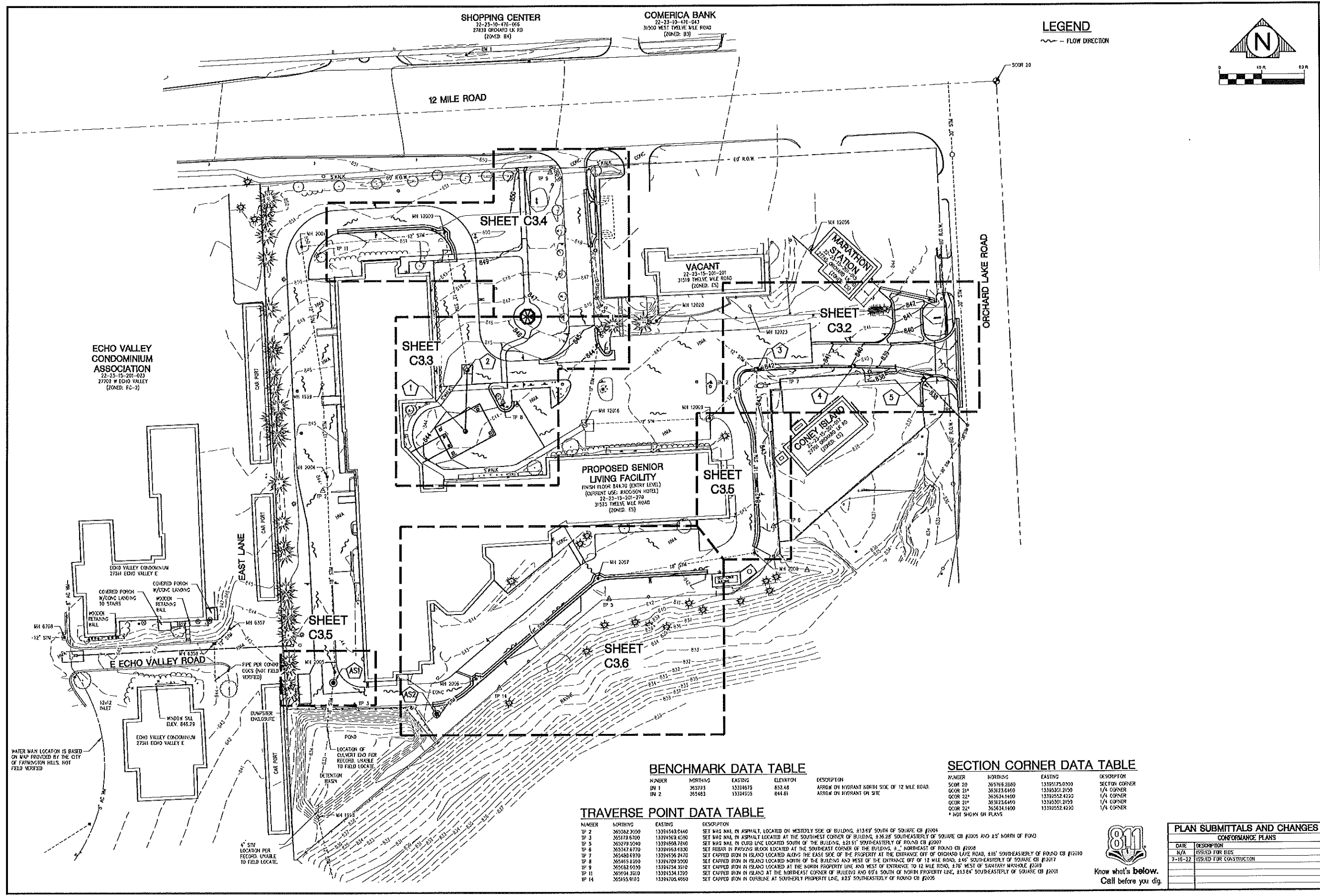
PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN

SITE PLAN SHEET

REV: \_\_\_\_\_

SHT# **C3.0**

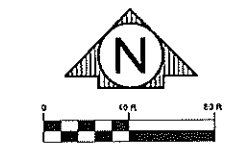
JOB No: 20F0071



**SHOPPING CENTER**  
22-23-10-176-055  
27818 ORCHARD LAKE RD  
(ZONED: B4)

**COMERICA BANK**  
22-23-10-176-043  
31500 WEST TWELVE MILE ROAD  
(ZONED: B3)

**LEGEND**  
- - - FLOW DIRECTION



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

**ECHO VALLEY CONDOMINIUM ASSOCIATION**  
22-23-15-201-023  
27929 W ECHO VALLEY  
(ZONED: FC-2)

**ROWE PROFESSIONAL SERVICES COMPANY**  
O: (248) 875-1086  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
CITY OF FARMINGTON HILLS  
OVERALL GRADING SHEET

**BENCHMARK DATA TABLE**

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BN 1	353733	13334675	852.48	IRON ON HYDRANT NORTH SIDE OF 12 MILE ROAD.
BN 2	355483	13334525	844.81	IRON ON HYDRANT ON SITE

**SECTION CORNER DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
SCOR 20	365769.2890	1339175.0390	SECTION CORNER
SCOR 21*	363323.8460	1339351.9150	1/4 CORNER
SCOR 22*	365634.1400	1339252.4292	1/4 CORNER
SCOR 21*	363123.6490	1339350.2193	1/4 CORNER
SCOR 22*	365634.1400	1339252.4292	1/4 CORNER

\* NOT SHOWN ON PLANS

**TRAVERSE POINT DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 2	365382.9260	1339450.0440	SET WAG NAIL IN ASPHALT, LOCATED ON WESTERN SIDE OF BUILDING, 413.89' SOUTH OF SQUARE CB #2004
TP 3	365179.6700	1339450.4580	SET WAG NAIL IN ASPHALT LOCATED AT THE SOUTHWEST CORNER OF BUILDING, 436.28' SOUTHEASTERLY OF SQUARE CB #2005 AND 413' NORTH OF POAD
TP 5	365279.3290	1339450.7840	SET WAG NAIL IN CURB LINE LOCATED SOUTH OF THE BUILDING, 420.51' SOUTHEASTERLY OF ROUND CB #2007
TP 6	365547.8770	1339456.6330	SET REBAR IN PARKING BLOCK LOCATED AT THE SOUTHEAST CORNER OF THE BUILDING, 413' NORTHEAST OF ROUND CB #2008
TP 7	365480.8970	1339456.2470	SET CAPPED IRON IN ISLAND LOCATED ALONG THE EAST SIDE OF THE PROPERTY AT THE ENTRANCE OFF OF ORCHARD LAKE ROAD, 416' SOUTHEASTERLY OF ROUND CB #2008
TP 8	365485.8290	13394709.5050	SET CAPPED IRON IN ISLAND LOCATED NORTH OF THE BUILDING AND WEST OF THE ENTRANCE OFF OF 12 MILE ROAD, 446' SOUTHEASTERLY OF SQUARE CB #2007
TP 9	365682.0290	1339458.3010	SET CAPPED IRON IN ISLAND LOCATED AT THE NORTH PROPERTY LINE AND WEST OF ENTRANCE TO 12 MILE ROAD, 470' WEST OF SANITARY MANHOLE #2009
TP 11	365628.3510	1339454.1390	SET CAPPED IRON IN ISLAND AT THE NORTHEAST CORNER OF BUILDING AND 474' SOUTH OF NORTH PROPERTY LINE, 413.84' SOUTHEASTERLY OF SQUARE CB #2007
TP 14	365153.9183	13394705.4660	SET CAPPED IRON IN CURBLINE AT SOUTHERLY PROPERTY LINE, 423' SOUTHEASTERLY OF ROUND CB #2005



**PLAN SUBMITTALS AND CHANGES**

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-18-22	ISSUED FOR CONSTRUCTION

REV: \_\_\_\_\_

SHT# **C3.1**

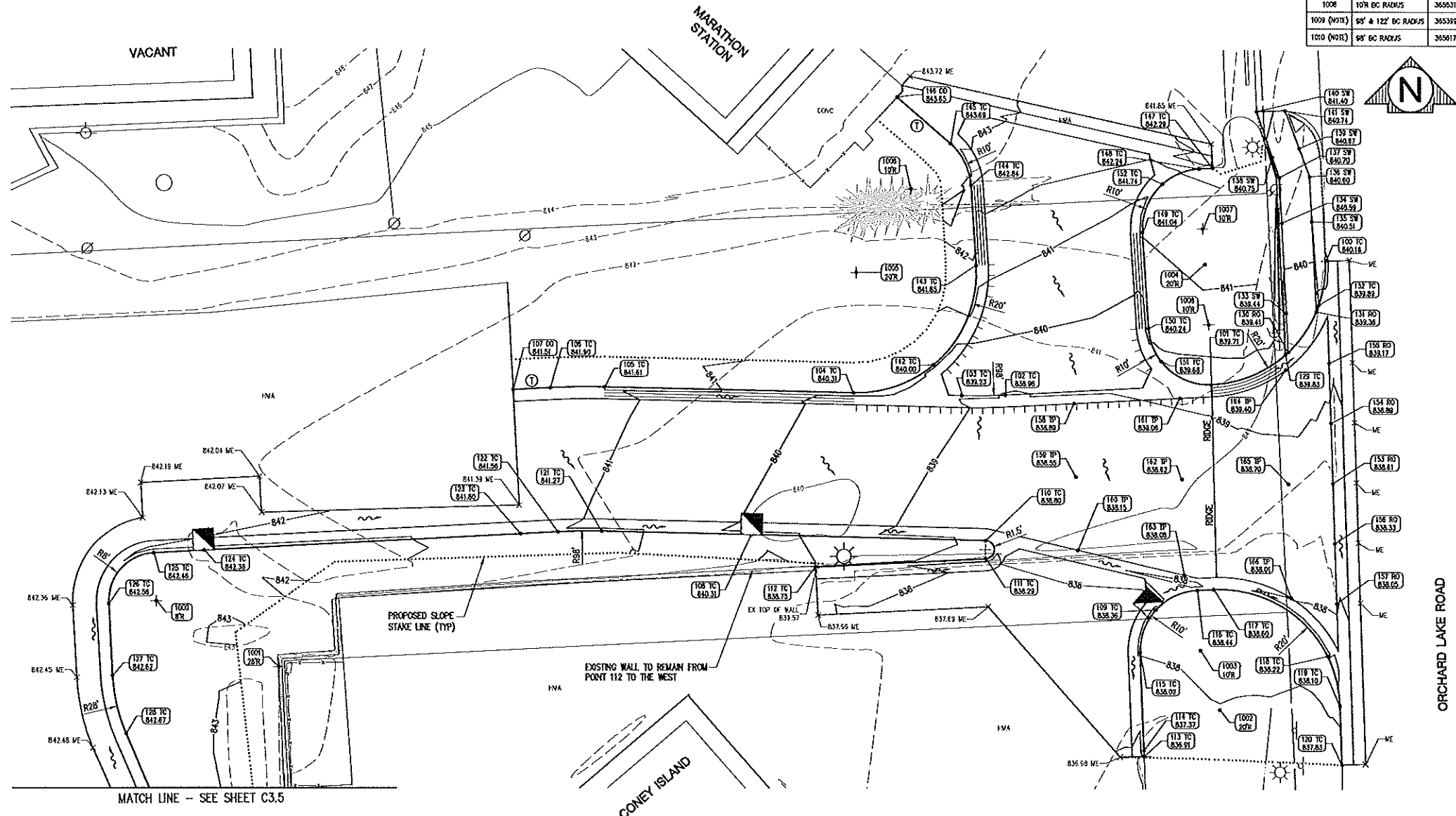
JOB No: 20F0071

WATER MAIN LOCATION IS BASED ON MAP PROVIDED BY THE CITY OF FARMINGTON HILLS. NOT FIELD VERIFIED

4" STN LOCATION PER RECORD, UNABLE TO FIELD LOCATE

LOCATION OF CURB END PER RECORD, UNABLE TO FIELD LOCATE

P:\Projects\2022\20F0071\Drawings\20F0071-000-000.dwg 7/22/22 2:11 PM



RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
1009	8' BC RADIUS	365485.50	1339490.25
1001	28' BC RADIUS	365474.59	1339496.85
1002	20' BC RADIUS	365467.60	1339517.32
1003	10' BC RADIUS	365477.50	1339511.11
1004	20' BC RADIUS	365541.63	1339511.64
1005	20' BC RADIUS	365540.17	1339506.82
1006	10' BC RADIUS	365554.10	1339506.93
1007	10R BC RADIUS	365547.54	1339511.48
1008	10R BC RADIUS	365531.65	1339515.46
1009 (PVT)	95' & 122' BC RADIUS	365539.12	1339501.37
1010 (PVT)	98' BC RADIUS	365617.75	1339507.50

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
100	TD=840.18	ME	365542.30	1339493.43
101	TD=839.71	PC, SPILL	365521.65	1339513.68
102	TD=838.06	PC, SPILL, TD	365518.50	1339508.68
103	TD=839.23	PC, SPILL, TD	365518.77	1339507.40
104	TD=840.31	PC, SPILL	365520.17	1339506.58
105	TD=841.81	PC	365531.69	1339505.00
106	TD=841.90	PC	365520.90	1339500.04
107	TD=841.51	TC, ME, 6" TAPER	365520.83	1339499.76
108	TD=840.31	CB	365496.54	1339503.40
109	TD=838.36	CB	365494.25	1339506.73
110	TD=838.80	PC	365495.66	1339507.33
111	TD=838.28	PC	365492.87	1339507.30
112	TD=838.75	ME	365491.20	1339506.02
113	TD=836.91	ME, DO	365490.83	1339504.78
114	TD=837.37		365490.93	1339504.75
115	TD=838.02	PC	365477.11	1339504.12
116	TD=838.44	PC	365487.49	1339513.60
117	TD=838.60	PC	365487.63	1339516.28
118	TD=838.22		365478.50	1339513.51
119	TD=838.10	PC	365468.32	1339513.31
120	TD=837.83	ME	365458.56	1339517.81
121	TD=841.27	PC	365497.10	1339501.55
122	TD=841.56	PC	365496.99	1339507.23
123	TD=841.80	PC	365496.66	1339500.01
124	TD=842.38	CB	365493.83	1339498.34
125	TD=843.48	PC	365493.49	1339493.84
126	TD=842.58	PC	365485.05	1339492.37
127	TD=842.62	PC	365473.13	1339492.89
128	TD=842.67	PC	365483.51	1339493.13
129	TD=838.83		365526.66	1339518.11
130	RD=838.41	TC, SW	365527.10	1339512.58
131	RD=838.38	TC, SW	365533.83	1339513.28
132	TD=838.86		365534.97	1339513.70
133	SW=839.44		365533.58	13395128.27
134	SW=840.58		365548.56	1339517.32
135	SW=840.51		365548.81	13395132.51
136	SW=840.60		365558.27	13395132.14
137	SW=840.70		365556.12	13395127.14
138	SW=840.75		365558.45	13395128.02
139	SW=840.67		365562.95	13395130.40
140	SW=841.40	ME	365567.65	13395123.38
141	SW=840.74	ME	365567.19	13395128.00
142	TD=840.00	SPILL	365524.88	13395048.71
143	TD=841.85	PC, SPILL	365541.40	13395078.78
144	TD=842.84	PC	365554.72	13395075.96
145	TD=843.69	PC	365561.65	13395072.53
146	TD=843.85	TC, ME, 11" TAPER	365559.31	13395063.70
147	TD=842.29	ME	365557.66	13395118.12
148	TD=842.24	PC	365557.52	13395113.86
149	TD=841.04	PC	365548.92	13395104.50
150	TD=840.24	PC, SPILL	365531.63	13395105.48
151	TD=838.68	SPILL	365525.51	13395107.56
152	TD=841.71		365555.01	13395107.83
153	RD=838.61	TC	365556.31	13395138.07
154	RD=838.89	TC	365555.30	13395135.74
155	RD=838.17	TC	365525.30	13395135.40
156	RD=838.33	TC	365495.32	13395136.40
157	RD=838.05	TC	365485.32	13395136.74
158	TD=838.89		365518.47	13395093.14
159	TD=838.55		365508.29	13395093.45
160	TD=838.15		365494.10	13395083.78
161	TD=838.00		365518.38	13395110.71
162	TD=838.82		365505.92	13395111.00
163	TD=838.06		365488.94	13395111.48
164	TD=838.40		365524.13	13395128.18
165	TD=838.70		365505.17	13395128.68
166	TD=838.01		365486.20	13395128.15

**CURB NOTE**

- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:
 

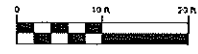
CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 (SPILL)	0.60 FT
- TO CONVERT TOP OF RAMP OPENING (RO) ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.46 FT
- TO CONVERT TOP OF DUB DOWN (DO) CURB ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- ME - WATCH EXISTING
- CB - CATCH BASIN
- PC - POINT OF CURVATURE
- RO - RAMP OPENING
- DO - DUB DOWN
- SPILL - SPILL CURB
- ~ - FLOW DIRECTION
- ⊙ - CURB TAPER
- - FLOW CURB
- - SPILL CURB
- - TRANSITION FROM SPILL CURB TO FLOW CURB



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=10'

**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 875-1096  
 F: (800) 974-1704  
 www.roweps.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

REV:  
 SHT# **C3.2**  
 JOB No: 20F0071





PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1" = 10'

ROWE PROFESSIONAL SERVICES COMPANY  
C: (248) 675-1036  
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www.rowepsc.com  
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Farmington Hills, MI 48331

PREPARED FOR  
MANOR SENIOR LIVING LLC  
COMFORT CARE SENIOR LIVING P.U.D.  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
GRADING DETAIL SHEET



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
200	DD-844.90	BC	365554.73	13394798.14
201	TD-845.00	PC	365528.80	13394798.40
202	TD-846.50	CB	365518.87	13394800.36
203	TD-844.00	PC, BEGIN TRANS	365511.86	13394805.21
204	TD-844.15	SPILL	365510.87	13394808.69
205	DD-843.93	TC, ME, PC, SPILL	365511.80	13394810.47
206	TD-844.00	SPILL	365458.48	13394715.55
207	TD-844.60	PC, SPILL	365461.41	13394708.54
208	DD-844.62	TC, SW	365477.91	13394697.74
209	TP-844.60	SW, PC	365477.81	13394695.89
210	TP-844.70	SW, ME, PC	365483.46	13394700.58
211	SW-844.74	ME	365484.13	13394713.59
212	SW-844.78	PC	365478.75	13394713.87
213	SW-844.74	ME	365504.42	13394712.54
214	SW-844.73	ME	365506.80	13394707.46
215	SW-844.77	PC	365509.22	13394712.28
216	SW-844.77	PC	365508.96	13394707.30
217	SW-845.32	PC	365521.29	13394713.34
218	SW-845.23	PC	365518.62	13394717.11
219	SW-845.89	PC	365525.38	13394726.08
220	SW-845.80	PC	365520.71	13394727.86
221	SW-844.20	PC	365528.69	13394730.42
222	SW-844.20	PC	365531.31	13394735.87
223	CB-843.47		365438.00	13394673.70
224	CB-843.89		365495.71	13394717.50
225	DD-844.25	TC, ME, SPILL	365463.75	13394717.75
226	TP-844.02	ME	365465.93	13394719.72
227	TP-843.40	ME	365423.69	13394748.70
228	TP-843.43		365420.95	13394745.88
229	TP-843.68		365408.55	13394731.93
230	TP-843.74		365404.68	13394733.78
231	TP-843.83		365404.65	13394708.29
232	TP-843.96		365403.54	13394681.70
233	TP-844.11		365402.10	13394682.05
234	TP-844.18		365402.01	13394687.43
235	TP-844.02		365403.14	13394681.33
236	TP-843.50		365408.73	13394642.71
237	TP-844.18		365434.00	13394623.76
238	TP-844.05		365436.91	13394636.77
239	TP-844.06		365436.36	13394640.29
240	TP-844.02		365462.58	13394644.76
241	TP-844.16		365462.07	13394650.27
242	TP-844.75		365478.05	13394662.83
243	TD-845.20	SPILL	365475.28	13394668.15
244	SW-846.50		365545.89	13394732.87
245	SW-846.57	PC	365533.61	13394728.89
246	SW-848.25	PC	365533.63	13394737.74
247	TP-845.00	ME	365537.83	13394795.77
248	TP-843.47	ME	365536.59	13394772.04
249	TP-844.87	ME	365505.33	13394745.82

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
2000	1' BC RADIUS	365613.65	13394807.48
2001	2' BC RADIUS	365530.02	13394826.37
2002	7.5' SW RADIUS	365506.81	13394719.78
2003	7.5' SW RADIUS	365532.39	13394723.42
2004	3' TP RADIUS	365535.29	13394742.06
2005	8' BC RADIUS	365464.23	13394711.84

### CURB NOTE

1. THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:

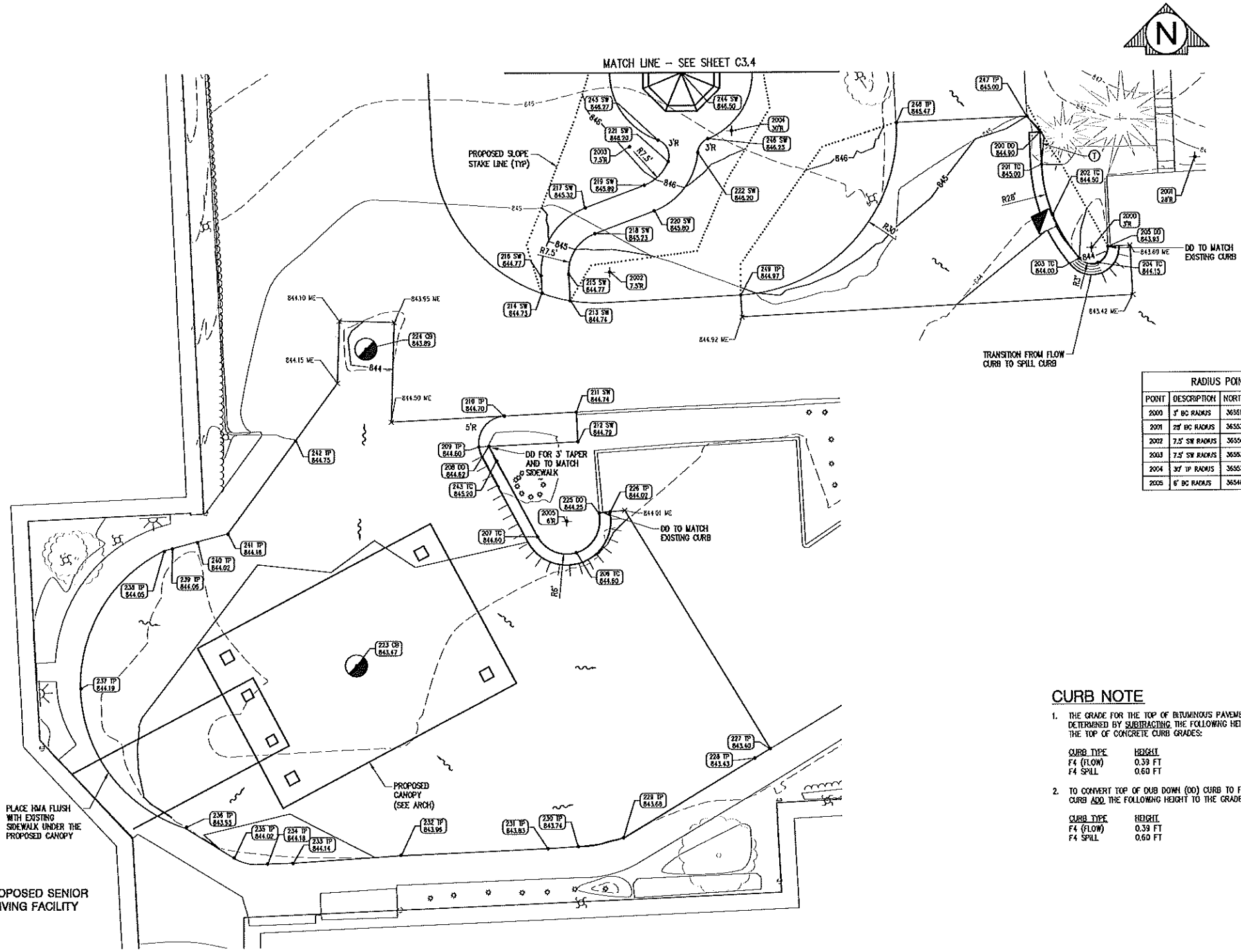
CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 SPILL	0.60 FT

2. TO CONVERT TOP OF CURB DOWN (DD) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 SPILL	0.60 FT

### LEGEND

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- ME - MATCH EXISTING
- CB - CATCH BASIN
- PC - POINT OF CURVATURE
- RO - RAMP OPENING
- DD - CURB DOWN
- SPILL - SPILL CURB
- - FLOW DIRECTION
- ① - CURB TAPER
- ==== - FLOW CURB
- ==== - SPILL CURB
- ==== - TRANSITION FROM SPILL CURB TO FLOW CURB



PLACE IMA FLUSH WITH EXISTING SIDEWALK UNDER THE PROPOSED CANOPY

PROPOSED SENIOR LIVING FACILITY

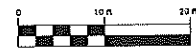
PROPOSED CANOPY (SEE ARCH)

DO FOR 3" TAPER AND TO MATCH SIDEWALK

DO TO MATCH EXISTING CURB

TRANSITION FROM FLOW CURB TO SPILL CURB

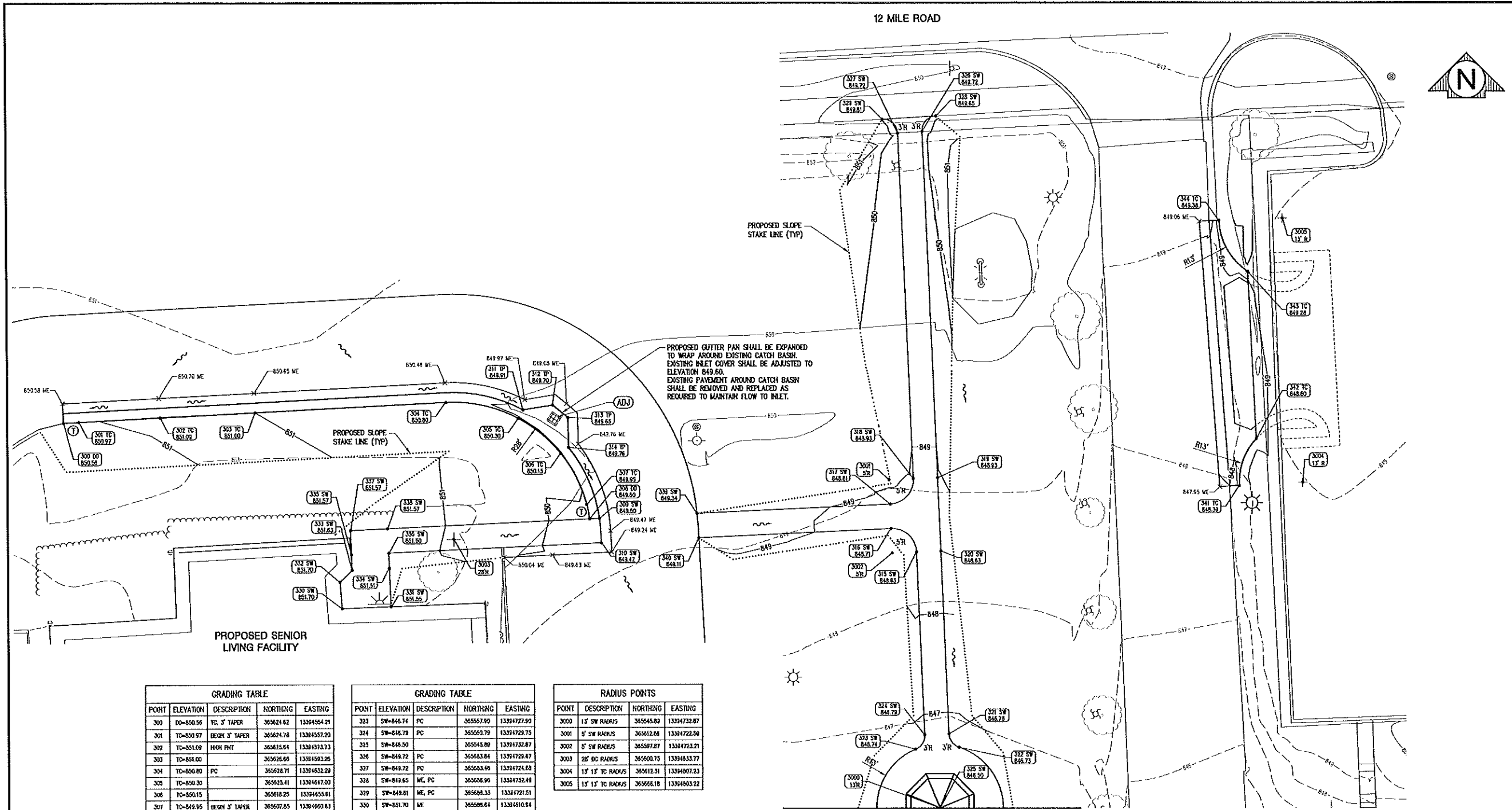
DO TO MATCH EXISTING CURB



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:

SHT# C3.3  
JOB No: 20F0071



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=10'

**ROWE PROFESSIONAL SERVICES COMPANY**  
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 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
300	DO=850.56	TC, 3' TAPER	365624.62	13394554.21
301	TC=850.97	BEGRN 3' TAPER	365624.78	13394557.20
302	TC=851.09	HIGH PNT	365615.64	13394571.73
303	TC=851.00		365628.66	13394593.26
304	TC=850.80	PC	365628.71	13394632.29
305	TC=850.30		365623.41	13394647.00
306	TC=850.15		365618.25	13394655.61
307	TC=849.95	BEGRN 3' TAPER	365607.85	13394660.83
308	TC=849.80	TC, SW, 3' TAPER	365604.92	13394661.48
309	SW=849.50		365605.01	13394663.46
310	SW=849.42		365603.03	13394663.64
311	TP=849.91		365607.17	13394667.96
312	TP=849.70		365608.16	13394633.88
313	TP=849.65		365605.00	13394657.06
314	TP=849.78		365619.50	13394657.18
315	SW=848.63	PC	365606.06	13394728.21
316	SW=848.71	PC	365602.87	13394722.87
317	SW=848.81	PC	365607.87	13394722.83
318	SW=848.93	PC	365613.07	13394727.59
319	SW=848.83		365613.28	13394732.58
320	SW=848.63		365603.29	13394731.20
321	SW=848.78	PC	365601.00	13394734.74
322	SW=848.73	PC	365598.27	13394738.83

POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
323	SW=848.74	PC	365597.90	13394727.90
324	SW=848.78	PC	365600.79	13394729.75
325	SW=848.50		365594.89	13394732.87
326	SW=848.72	PC	365603.84	13394729.87
327	SW=849.72	PC	365603.69	13394724.88
328	SW=849.65	ME, PC	365606.96	13394732.48
329	SW=849.81	ME, PC	365606.33	13394721.51
330	SW=851.70	ME	365606.64	13394610.94
331	SW=851.55	ME	365607.02	13394620.93
332	SW=851.70	ME	365602.04	13394610.52
333	SW=851.83		365604.45	13394613.01
334	SW=851.51		365604.87	13394620.83
335	SW=851.57		365607.85	13394612.88
336	SW=851.50		365607.84	13394630.51
337	SW=851.57		365602.57	13394612.89
338	SW=851.57		365602.84	13394620.27
339	SW=849.34	ME	365605.58	13394663.49
340	SW=848.11	ME	365600.99	13394683.82
341	TC=848.39	PC	365611.64	13394724.24
342	TC=848.60	PC	365621.22	13394727.78
343	TC=849.29	PC	365605.32	13394726.87
344	TC=847.38	PC	365603.70	13394720.23

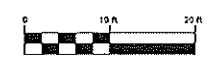
POINT	DESCRIPTION	NORTHING	EASTING
3000	1' SW RADIUS	365645.89	13394732.87
3001	5' SW RADIUS	365612.88	13394722.59
3002	5' SW RADIUS	365597.87	13394723.21
3003	28' BC RADIUS	365600.75	13394633.77
3004	1' 1' TC RADIUS	365612.31	13394607.23
3005	1' 1' TC RADIUS	365606.18	13394603.22

**CURB NOTE**

- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:  
 CURB TYPE HEIGHT  
 F4 (FLOW) 0.39 FT
- TO CONVERT TOP OF DIRT DOWN (DD) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:  
 CURB TYPE HEIGHT  
 F4 (FLOW) 0.39 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DD - CURB DOWN
- PC - POINT OF CURVATURE
- ⊙ - CURB TAPER
- ~ - FLOW DIRECTION

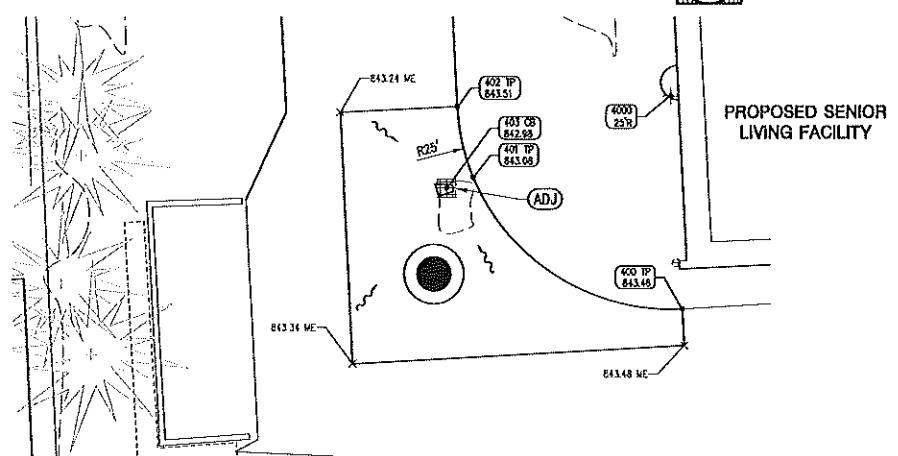


PLAN SUBMITTALS AND CHANGES	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-15-22	ISSUED FOR CONSTRUCTION

REV: \_\_\_\_\_  
 SHT# **C3.4**  
 JOB No: 20F0071

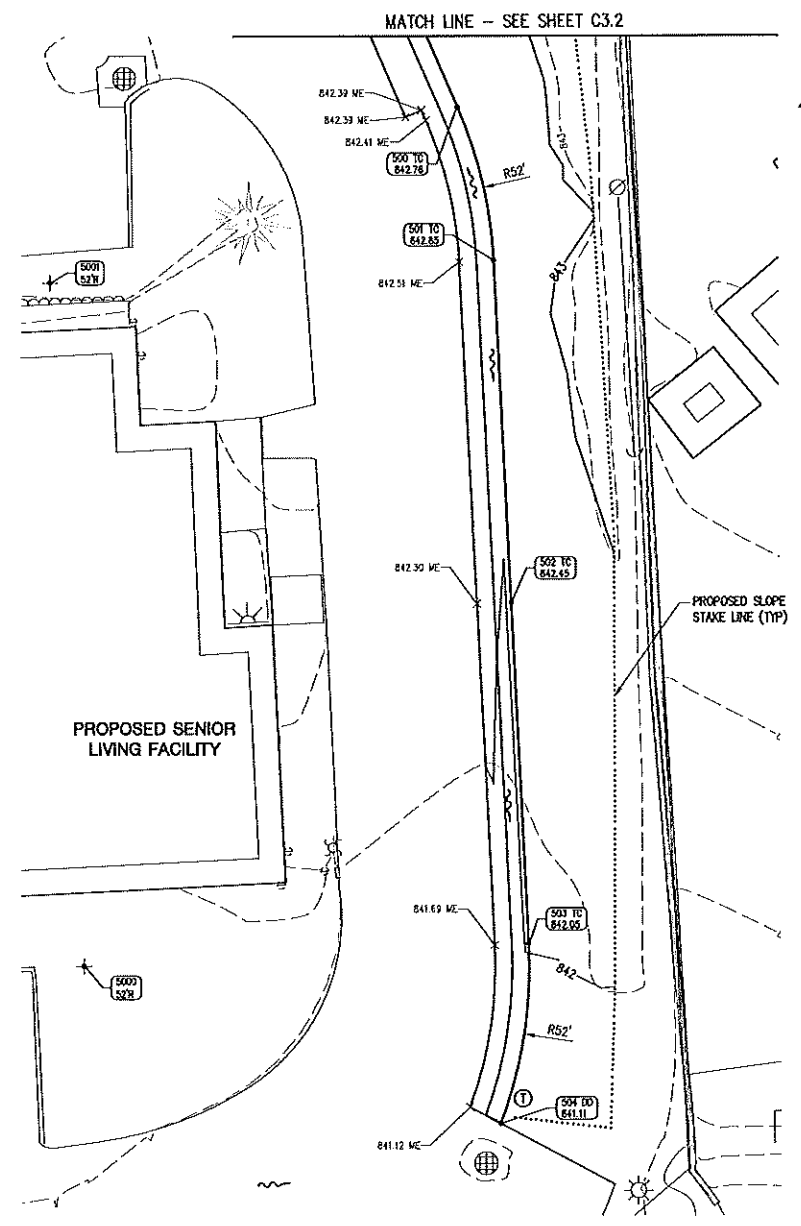


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GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
400	TP=843.48	PC, ME	365196.91	13394578.82
401	TP=843.08		365112.34	13394554.31
402	TP=843.51	PC, ME	365220.85	13394552.48
403	CB=842.98		365211.08	13394501.25

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
4000	25' TP RADIUS	365221.87	13394577.43



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
500	TC=842.76	PC	365446.18	13394942.59
501	TC=842.85	PC	365428.20	13394946.77
502	TC=842.45		365368.14	13394948.75
503	TC=842.05	PC	365348.07	13394950.74
504	DO=841.11	TC, ME, PC	365327.00	13394947.41

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
5000	52' DO RADIUS	365543.48	13394888.81
5001	52' DO RADIUS	365425.82	13394954.83

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DO - DUB DOWN
- PC - POINT OF CURVATURE
- ⊙ - CURB TAPER
- - FLOW DIRECTION



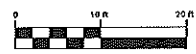
**CURB NOTE**

1. THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

2. TO CONVERT TOP OF DUB DOWN (DO) CURB OR RAMP OPENING (RO) ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:

CURB TYPE	HEIGHT
F4 (FLOW)	0.46 FT



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
8/4	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



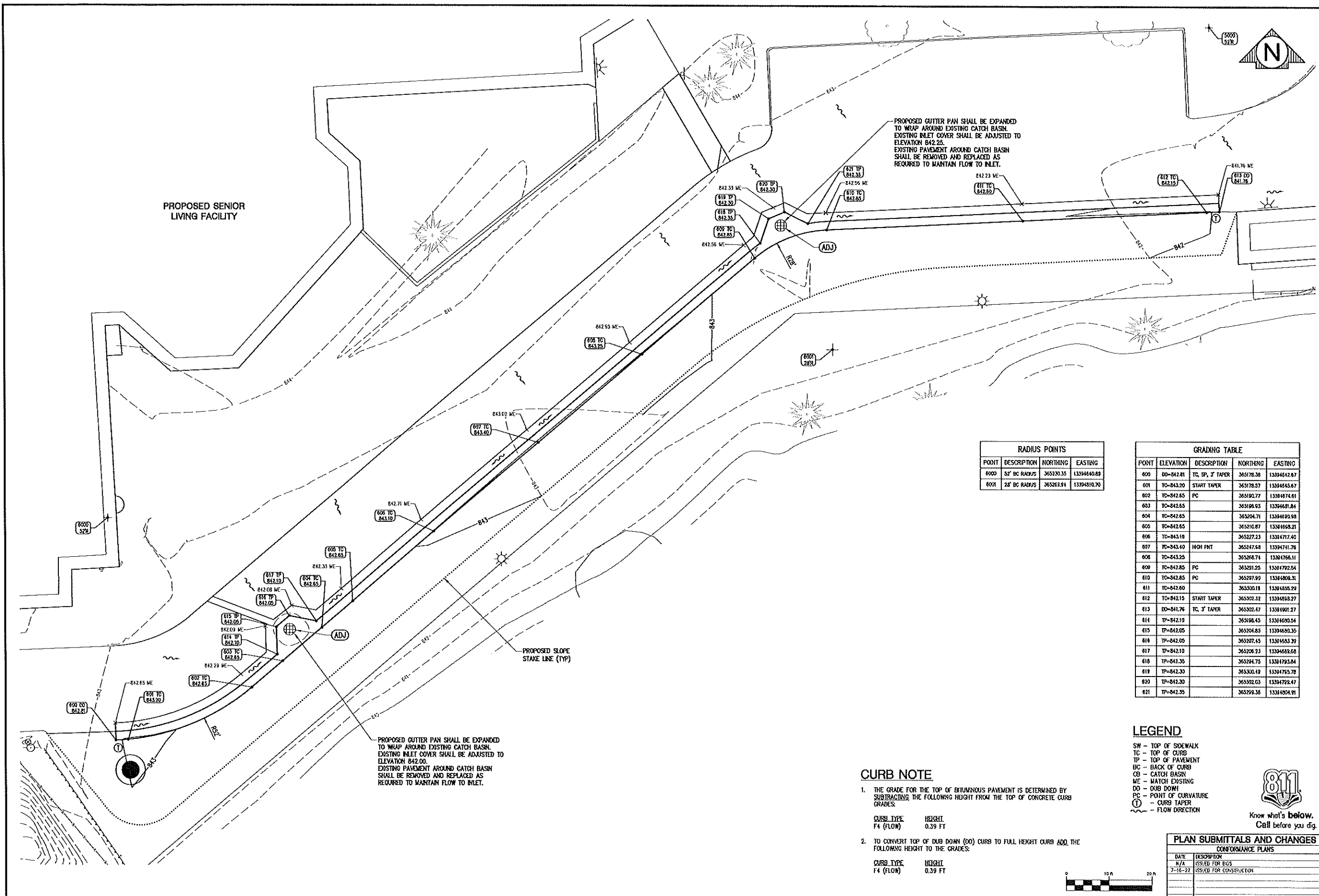
PLAN DATE: JULY 2022  
 PROJECT MOR: PTD  
 REVIEWER: REH  
 SCALE: 1"=10'

**ROWE PROFESSIONAL SERVICES COMPANY**  
 C: (248) 675-1086  
 F: (800) 974-1704  
 www.rowepsc.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

REV: \_\_\_\_\_  
 SHT# **C3.5**  
 JOB No: 20F0071





PROPOSED SENIOR LIVING FACILITY

PROPOSED GUTTER PAN SHALL BE EXPANDED TO WRAP AROUND EXISTING CATCH BASIN. EXISTING INLET COVER SHALL BE ADJUSTED TO ELEVATION 842.25. EXISTING PAVEMENT AROUND CATCH BASIN SHALL BE REMOVED AND REPLACED AS REQUIRED TO MAINTAIN FLOW TO INLET.

PROPOSED GUTTER PAN SHALL BE EXPANDED TO WRAP AROUND EXISTING CATCH BASIN. EXISTING INLET COVER SHALL BE ADJUSTED TO ELEVATION 842.00. EXISTING PAVEMENT AROUND CATCH BASIN SHALL BE REMOVED AND REPLACED AS REQUIRED TO MAINTAIN FLOW TO INLET.

PROPOSED SLOPE STAKE LINE (TYP)

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
6000	52' BC RADIUS	365230.35	13394640.88
6001	28' BC RADIUS	365268.94	13394810.70

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
600	842.81	TC, SP, 3' TAPER	365178.38	13394542.67
601	843.20	START TAPER	365178.57	13394545.67
602	842.85	PC	365192.77	13394674.61
603	842.65		365198.93	13394681.84
604	842.65		365204.71	13394693.98
605	842.65		365210.87	13394698.21
606	843.10		365227.23	13394717.60
607	843.40	HIGH PNT	365247.68	13394741.78
608	843.25		365268.74	13394766.11
609	842.85	PC	365281.25	13394792.54
610	842.85	PC	365297.99	13394808.35
611	842.60		365300.18	13394855.29
612	842.15	START TAPER	365302.32	13394863.27
613	841.76	TC, 3' TAPER	365302.47	13394901.27
614	842.10		365308.45	13394930.54
615	842.05		365304.85	13394930.35
616	842.05		365207.45	13394843.39
617	842.10		365206.23	13394858.68
618	842.35		365204.75	13394793.64
619	842.30		365300.19	13394793.78
620	842.30		365302.03	13394792.47
621	842.35		365299.38	13394804.91

**CURB NOTE**

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CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
- TO CONVERT TOP OF DUB DOWN (DO) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:  

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DO - DUB DOWN
- PC - POINT OF CURVATURE
- ① - CURB TAPER
- ~ - FLOW DIRECTION

Know what's below. Call before you dig.

**PLAN SUBMITTALS AND CHANGES**

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=10'

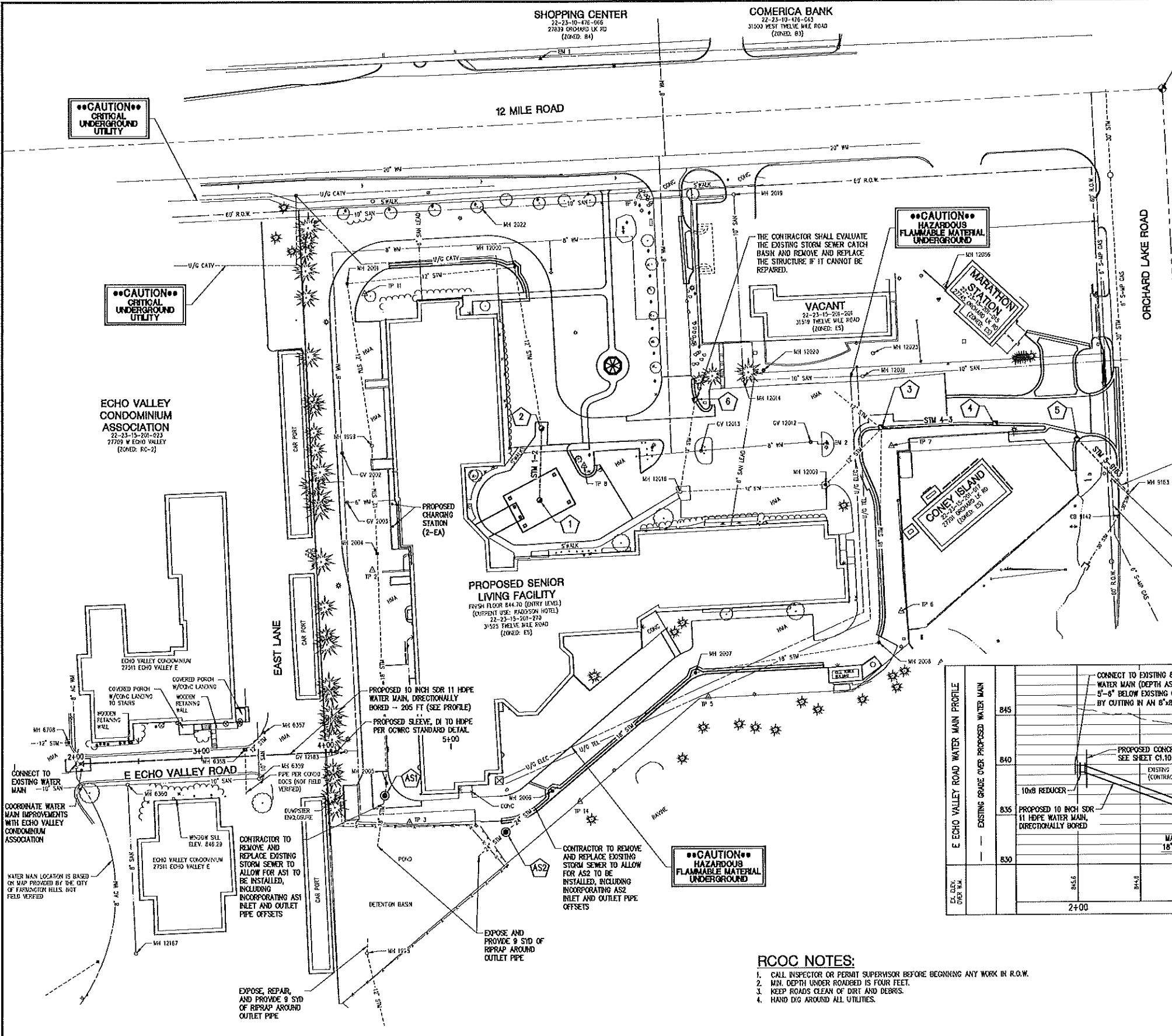
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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

REV: \_\_\_\_\_  
 SHT# **C3.6**  
 JOB No: 20F0071

PL-100 (Rev. 03/21) (Typ) (Construction) Drawing 09-20F0071-C3.6.dwg



**PROPOSED STORM SEWER STRUCTURE TABLE**

STRUCT NO.	DI.	COVER TYPE	RM ELEVATION	INVERT	NORTHING	EASTING
EX 9163	N/A	N/A	RM=837.02	4" 833.32 NW (PR) 30" 831.47 N (EX) 30" 831.47 SW (EX)	365444.87	13395148.34
EX 12016	78"	M1	RM=842.90	12" 838.60 N (EX) 12" 838.30 E (EX)	365444.38	13394786.74
EX 1999	N/A	M1	RM=845.17	12" 838.32 N (EX) 12" 838.32 S (EX)	365482.28	13394539.69
AS2	84"	TRAFFIC LOADING	RM=835.93	24" 831.01 NE (EX) 24" 831.01 SW (EX)	365171.42	13394648.14
AS1	78"	TRAFFIC LOADING	RM=843.23	18" 830.79 N (EX) 18" 830.79 S (EX)	365201.00	13394549.78
1	48"	EJ 1040 M1	RM=843.47	12" 839.17 N (PR)	365438.00	13394673.70
2	48"	EJ 1040 M1	RM=843.89	12" 838.88 S (PR) 12" 839.13 SW (EX) 12" 838.88 N (EX)	365495.71	13394675.50
3	48"	EJ 7045 M1	T/C=842.38	12" 833.07 E (PR) 12" 836.80 NW (EX) 12" 836.80 SW (EX) 18" 833.07 S (EX)	365494.93	13394948.28
4	48"	EJ 7045 M1	T/C=840.31	12" 833.53 W (PR)	365497.54	13395039.42
5	24"	EJ 7045 M1	T/C=838.36	4" 834.50 SE (PR)	365484.92	13395105.99
6	48"	EJ 7045 M1	T/C=844.27	12" 841.24 S (EX)	365518.73	13394799.45

NOTE: AS1 AND AS2 ARE AQUA-SMRL XC-8 COW UNITS TO BE CONSTRUCTED IN EXISTING STORM SEWER DISCHARGE(S) TO DETENTION BASIN.

STM 5-9163 TO BE 4 INCH SDR 21 PVC STORM SEWER, DIRECTIONALLY BORED, WORK TO BE COMPLETED ON A SATURDAY WITH RIGHT LANE CLOSURE. NO PAVEMENT REMOVAL IN STREET ALLOWED, IN ACCORDANCE WITH ROC PERMIT REQUIREMENTS, CONTRACTOR TO VERIFY EXISTING STORM INVERTS AND GAS MAIN INVERT AND PROPOSE 4 INCH STORM INVERT TO OWNER BEFORE COMPLETING WORK.

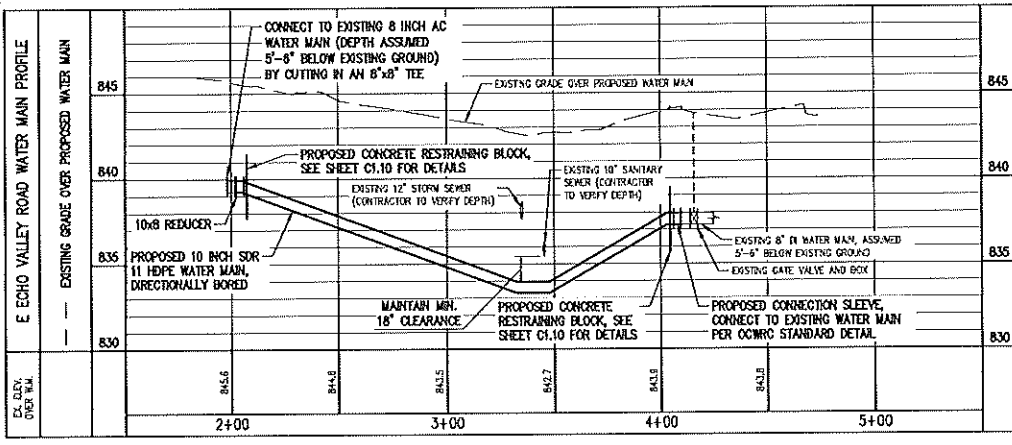
CONTRACTOR TO EXPOSE GAS MAIN PRIOR PLACEMENT OF STM 5-9163

**PROPOSED STORM SEWER PIPE TABLE**

PIPE NUMBER	DIAMETER	TOTAL LENGTH	SLOPE
STM 1-2	12"	58'	0.50%
STM 4-3	12"	91'	0.50%
STM 5-9163	4"	59'	2.00%

**WATER MAIN FITTINGS TABLE**

STATION	OFFSET	FITTING
2+00.00	0	8x8 TEE
2+04.48	0	8x10 REDUCER
4+08.17	0	SLEEVE



- RCOC NOTES:**
1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
  2. MIN. DEPTH UNDER ROADBED IS FOUR FEET.
  3. KEEP ROADS CLEAN OF DIRT AND DEBRIS.
  4. HAND DIG AROUND ALL UTILITIES.



**PLAN SUBMITTALS AND CHANGES**

DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-15-22	ISSUED FOR CONSTRUCTION

PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: H: 1"=40' V: 1"=5'

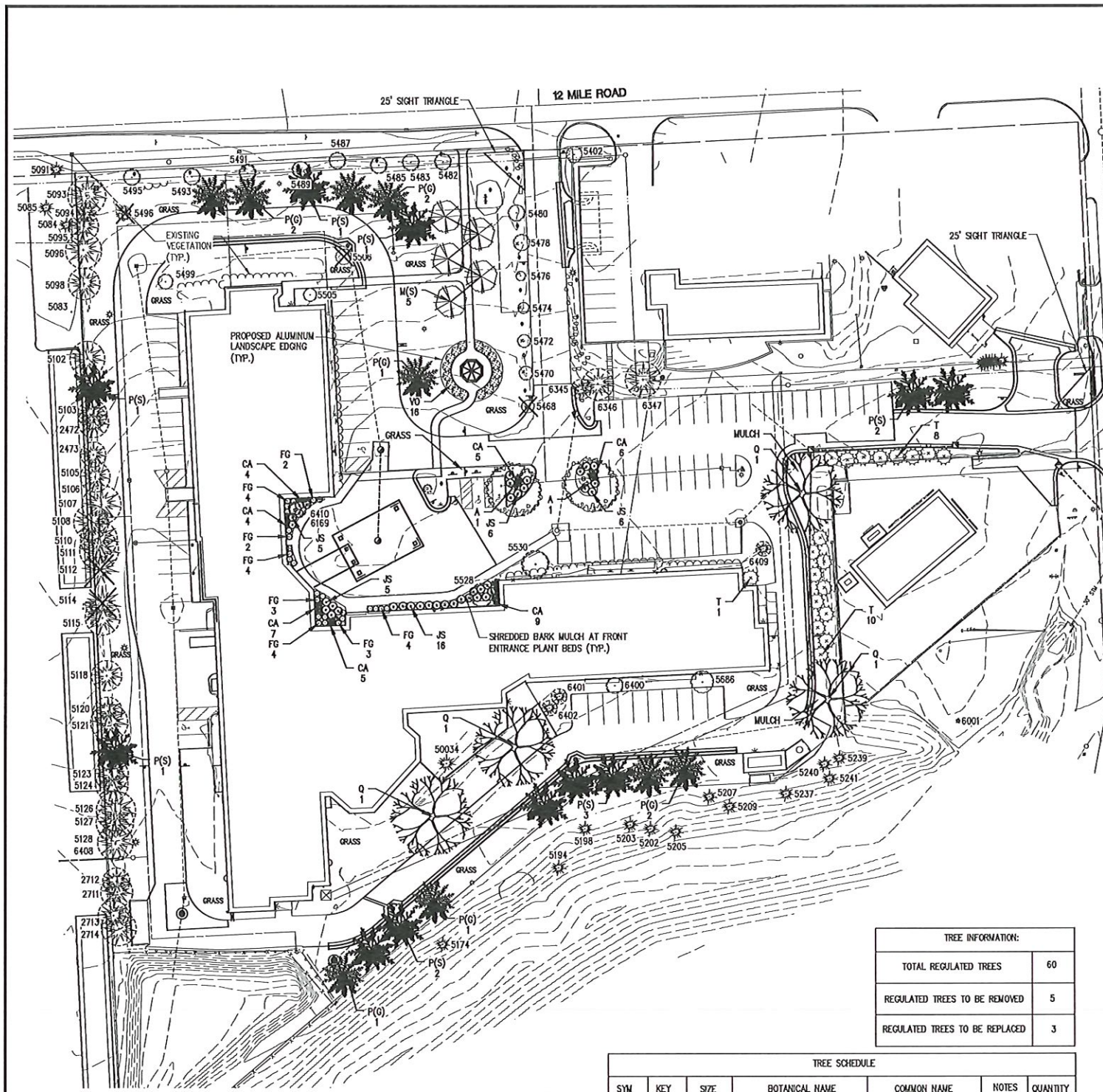
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PREPARED FOR:  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 OVERALL UTILITY SHEET

REV: \_\_\_\_\_  
 SHT# **C4.0**  
 JOB No: 20F0071





SYM	KEY	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
CA	CA	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	NO. 3 CONT. 2' HT.	40 @ 2' SPACING
FG	FG	FOTHERGILLIA GARDENII	DWARF FOTHERGILLIA	NO. 3 CONT.; 3' HT.	26 @ 3' SPACING
JS	JS	JUNIPERUS SABINA	BUFFALO JUNIPER	NO. 5 CONT.; 18" HT.	38 @ 4' SPACING
VO	VO	YBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN YBURNUM	B & B; 4' HT.	16 @ 4' SPACING

SYM	KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
A	A	2 1/2" CAL.	ACER RUBRUM	RED MAPLE	B & B	2
N	N	2" CAL.	MALUS 'BOB WHITE'	BOB WHITE CRABAPPLE	B & B	5
P(G)	P(G)	8' HT.	PICEA GLAUCA	COLORADO BLUE SPRUCE	B & B	10
P(S)	P(S)	8' HT.	PINUS STROBUS	EASTERN WHITE PINE	B & B	10
Q	Q	3" CAL.	QUERCUS ALBA	WHITE OAK	B & B	4
T	T	8' HT.	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT WESTERN ARBOVITAE	B & B	19

TREE INFORMATION:	
TOTAL REGULATED TREES	60
REGULATED TREES TO BE REMOVED	5
REGULATED TREES TO BE REPLACED	3

**LANDSCAPE ORDINANCE**  
 LANDSCAPING ADJACENT TO ROAD:  
 1 TREE PER 2,800 SFT

**REQUIREMENTS**  
 68,904.21 SFT/2,800 = 24.6 TREES (25)  
 29 TREES

PER INFORMATION FROM SECTION 34-5.14 OF THE FARMINGTON HILLS ZONING ORDINANCE

**LANDSCAPE DIMENSIONS:**  
 MINIMUM SHADE TREE CALIPER (CAL.) - 3"  
 MINIMUM EVERGREEN TREE HEIGHT - 8'  
 MINIMUM ORNAMENTAL TREE CALIPER (CAL.) - 2"  
 MINIMUM SHRUB HEIGHT - 2'



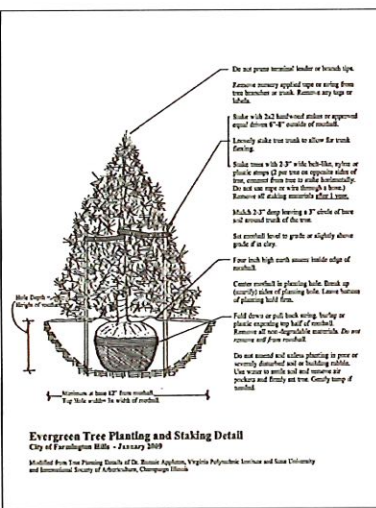
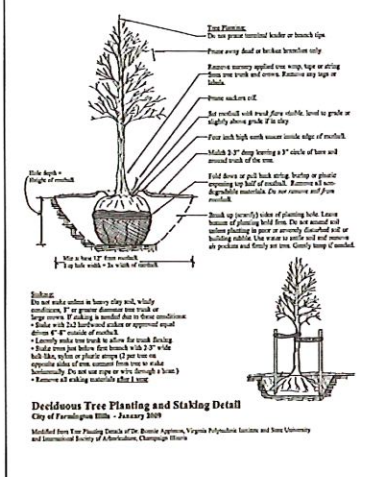
**LEGEND**

X TREE TO BE REMOVED

○ 4' (FOOT) HIGH WOOD SNOW FENCING

**TREE SURVEY INFORMATION:**

TAG #	DIA INCHES	COMMON NAME	BOTANICAL NAME	TAG #	DIA INCHES	COMMON NAME	BOTANICAL NAME
6343	13	Blue Spruce	Picea pungens	5308	24	Scotch Pine	Pinus sylvestris
6346	21	Blue Spruce	Picea pungens	5309	27	Scotch Pine	Pinus sylvestris
6347	24	Eastern White Pine	Pinus strobus	5310	26	Scotch Pine	Pinus sylvestris
5470	8	Ornamental Pear	Pyrus calleryana	5311	27	Scotch Pine	Pinus sylvestris
5472	8	Ornamental Pear	Pyrus calleryana	5312	29	Scotch Pine	Pinus sylvestris
5474	7	Ornamental Pear	Pyrus calleryana	5315	23	Scotch Pine	Pinus sylvestris
5476	6	Ornamental Pear	Pyrus calleryana	5318	20	Scotch Pine	Pinus sylvestris
5478	9	Ornamental Pear	Pyrus calleryana	5320	19	Scotch Pine	Pinus sylvestris
5482	22	Silver Maple	Acer saccharinum	5323	25	Scotch Pine	Pinus sylvestris
5483	17	Silver Maple	Acer saccharinum	5324	21	Scotch Pine	Pinus sylvestris
5488	15	Sugar Maple	Acer saccharum	5326	26	Scotch Pine	Pinus sylvestris
5499	13	Crabapple	Malus sp.	5327	24	Scotch Pine	Pinus sylvestris
5505	8	Crabapple	Malus sp.	5328	25	Scotch Pine	Pinus sylvestris
5508	20	Sugar Maple	Acer saccharum	6408	22	Scotch Pine	Pinus sylvestris
5509	16	Silver Maple	Acer saccharinum	2712	19	Scotch Pine	Pinus sylvestris
5509	25	Silver Maple	Acer saccharinum	2711	21	Scotch Pine	Pinus sylvestris
5509	24	Silver Maple	Acer saccharinum	2713	20	Scotch Pine	Pinus sylvestris
5509	24	Silver Maple	Acer saccharinum	2714	21	Scotch Pine	Pinus sylvestris
5459	9	Ornamental Pear	Pyrus calleryana	2714	23	Scotch Pine	Pinus sylvestris
5093	26	Scotch Pine	Pinus sylvestris	6402	21	Colorado Blue Spruce	Picea pungens
5094	17	Scotch Pine	Pinus sylvestris	6401	24	Colorado Blue Spruce	Picea pungens
5094	17	Scotch Pine	Pinus sylvestris	6400	16	Red Maple	Acer rubrum
5095	19	Scotch Pine	Pinus sylvestris	5686	14	Red Maple	Acer rubrum
5096	23	Scotch Pine	Pinus sylvestris	6409	28	Eastern White Pine	Pinus strobus
5098	21	Scotch Pine	Pinus sylvestris	5530	16	Crabapple	Malus sp.
5102	24	Scotch Pine	Pinus sylvestris	5528	14	Crabapple	Malus sp.
5103	20	Scotch Pine	Pinus sylvestris	6189	15	Crabapple	Malus sp.
2472	21	Scotch Pine	Pinus sylvestris				
2473	17	Scotch Pine	Pinus sylvestris				
5195	19	Scotch Pine	Pinus sylvestris				
5327	25	Scotch Pine	Pinus sylvestris				



**LOCATION MAP**  
N.T.S.

**LANDSCAPE NOTES**

- ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON APPROVED PLANS WILL BE REQUIRED THROUGH THE LIFE OF THE PROJECT AND MUST BE REPLACED IF REMOVED OR DEAD.
- A TREE PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX INCHES (6") OR MORE DBH IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING CHAPTER 34-5.18.
- TREES MUST BE PLANTED NO CLOSER THAN SIX FEET (6') TO PUBLIC UTILITIES.
- 4 FOOT (4') HIGH WOOD SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP LINE OF ALL TREES TO BE SAVED IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING ORDINANCE CHAPTER 34-5.18.
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN SOCIETY OF NURSERYMAN STANDARDS AND BE:
  - NURSERY GROWN
  - STATE DEPARTMENT OF AGRICULTURE INSPECTED
  - NO. 1 GRADE WITH STRAIGHT UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN (PARK GRADE TREES WILL NOT BE ACCEPTED).
  - PLANTED PER CITY OF FARMINGTON HILLS DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF FARMINGTON HILLS CHAPTER 34-5.14
  - GUARANTEED FOR ONE YEAR.
  - REPLACEMENT TREES SHALL HAVE SHADE POTENTIAL AND OTHER CHARACTERISTICS COMPARABLE TO THE TREES PROPOSED FOR REMOVAL.

PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

**PREPARED FOR**  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 LANDSCAPE PLANTING PLAN SHEET

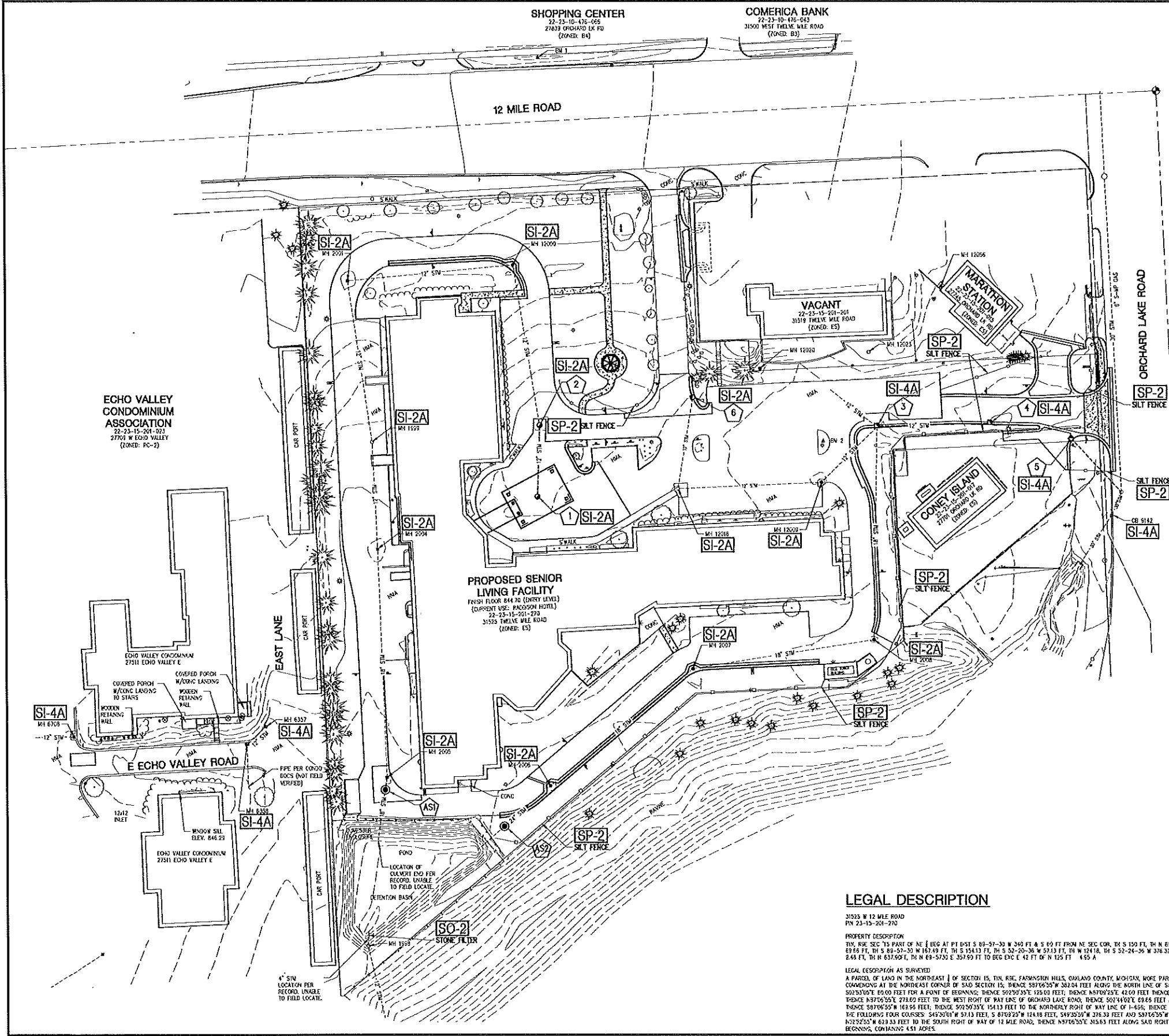
**ROWE PROFESSIONAL SERVICES COMPANY**  
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 www.rowepscc.com

**PLAN DATE:** JULY 2022  
**PROJECT MGR:** PTO  
**REVIEWER:** REH  
**SCALE:** 1"=40'

**REV:**  
**SHT#** C5.0  
**JOB No:** 20F0071

© (Project Variations) (Use/Construction Drawings) (15-260871) (Landscape)





OAKLAND COUNTY WATER RESOURCES COMMISSION  
SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

- SI-2A LOW POINT INLET FILTER
- SI-4A CURB AND GUTTER INLET FILTER ALTERNATE "A"
- SP-2 SILT FENCE
- SO-2 TEMPORARY DETENTION BASIN OUTLET STONE FILTER

PERMANENT SEEDING GUIDE

PREPARED AND/OR MAINT	APR	MAY	JUN	JUL	AUG	SEP	OCT	ZONE 1
WITHOUT FERTILIZER OR MULCH								

TEMPORARY SEEDING GUIDE

TYPE OF SEED	ZONE 1							
	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
SPRING GRASS (DAKOTA) OR DOMESTIC KYRGRASS								
SLUDGRASS								
RYE OR PERENNIAL RYE								
WHEAT								

NOTE: TO BE FILLED OUT BY CONTRACTOR

CONSTRUCTION SEQUENCE	SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMP. CONTROL MEASURES												
ROUGH GRADE SEDIMENT CONTROL												
STORM FACILITIES												
TEMP. CONSTRUCTION ROADS												
PERM. CONTROL MEASURES												
FINISH GRADING												

CONSTRUCTION SEQUENCE

1. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES, SELECTIVE GRADING, OVERSEEDS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
2. EXCAVATION AND STOCKPILING OF SOIL.
3. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES, SELECTIVE GRADING, OVERSEEDS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
4. PERFORM MAINTENANCE OF AFFECTED DROUGH CONTROL MEASURES.
5. PERMANENT MEASURES: FINAL GRADING, SEEDING AND MULCHING.

LEGAL DESCRIPTION

31525 W 12 MILE ROAD  
PN 23-13-201-270

PROPERTY DESCRIPTION  
TH. 1/4 SEC 15 PART OF NE 1/4 ECG AT PT 651 S 89-57-33 W 340 FT & S 89 FT FROM NE SEC COR, TH S 150 FT, TH N 89-57-30 E 569 FT, TH S 89-58 FT, TH S 89-57-30 W 167.49 FT, TH S 154.13 FT, TH S 52-20-36 W 57.13 FT, TH W 124.16, TH S 52-24-36 W 376.33 FT, TH S 89-57-30 W 2.48 FT, TH N 837.50 FT, TH N 89-57-30 E 357.89 FT TO BEG EPC E 42 FT OF N 125 FT 4.55 A

LEGAL DESCRIPTION AS SURVEYED  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 15, T14N, R16E, FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15, THENCE S89°57'30"W 382.84 FEET ALONG THE NORTH LINE OF SAID SECTION, THENCE S02°30'00"E 80.00 FEET FOR A POINT OF BEGINNING, THENCE S02°30'00"E 125.00 FEET, THENCE N87°02'42"E 42.00 FEET THENCE S02°30'00"E 25.00 FEET, THENCE N87°02'42"E 278.00 FEET TO THE WEST RIGHT OF WAY LINE OF ORCHARD LAKE ROAD, THENCE S02°44'00"E 89.65 FEET ALONG SAID RIGHT OF WAY, THENCE S89°57'30"W 163.96 FEET, THENCE S02°30'00"E 154.13 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF I-656, THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING FOUR COURSES: S45°30'01"W 57.13 FEET, S 87°02'25"W 124.16 FEET, S49°20'50"W 376.33 FEET AND S87°16'35"W 2.48 FEET, THENCE N27°52'55"W 613.33 FEET TO THE SOUTH RIGHT OF WAY OF 12 MILE ROAD, THENCE N87°02'42"E 315.83 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING, CONTAINING 4.51 ACRES.



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
7-16-22	ISSUED FOR BIDS
	ISSUED FOR CONSTRUCTION

REV: \_\_\_\_\_  
SHT# **C6.0**  
JOB No: 20F0071



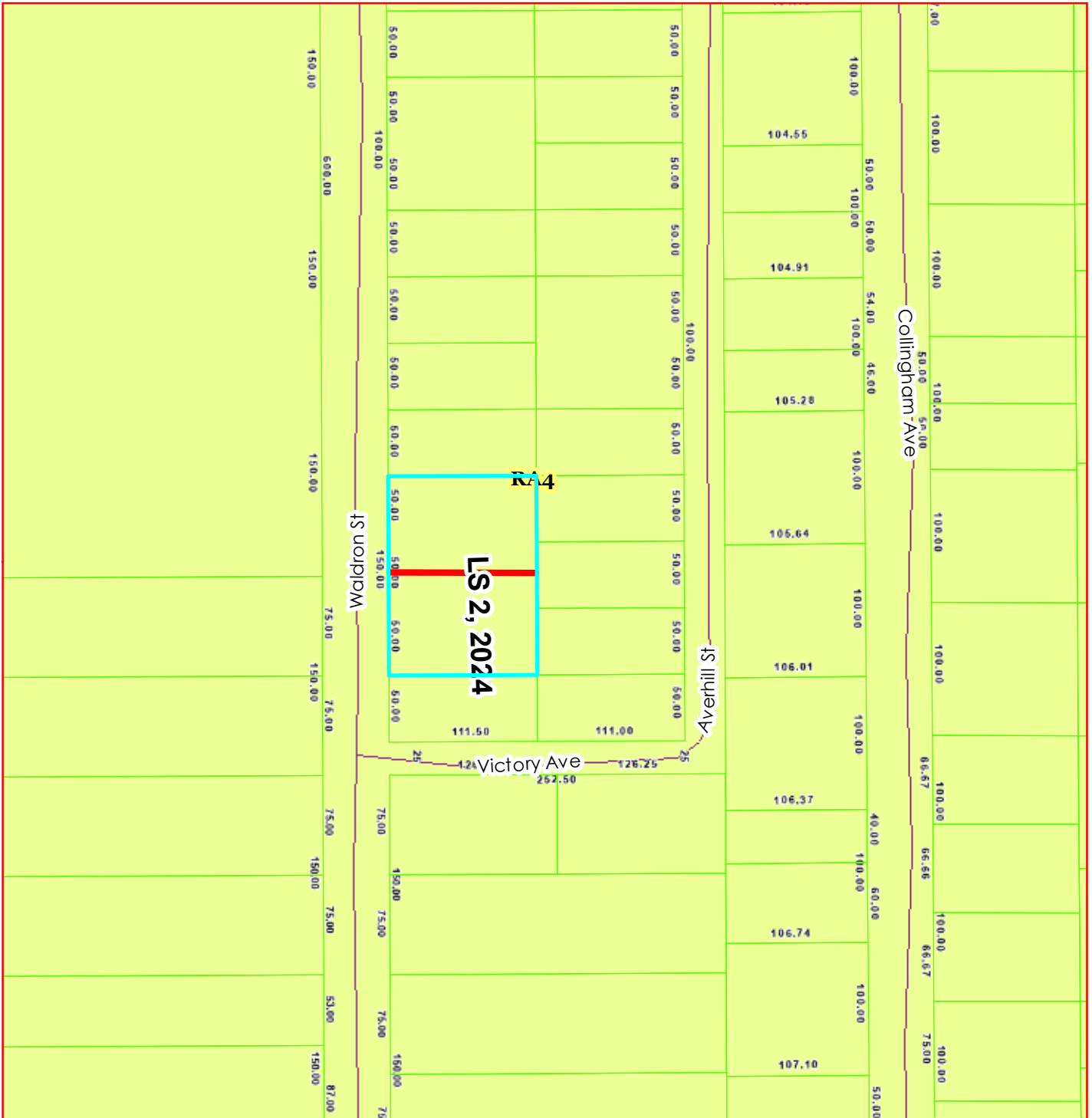
PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

ROWE PROFESSIONAL SERVICES COMPANY  
O: (248) 675-1096  
F: (800) 974-1704  
www.rowepss.com



PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
PROPOSED CONDITIONS SESC PLAN SHEET

**Lot Split 2, 2024, 36-329-030**  
**21308 Waldron St., RA-4**  
**Split one parcel into two parcels**



Tax parcel  
 Minor roads  
**Zoning Districts**  
**Zoning Districts**  
 RA-4 One Family Residential District



SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

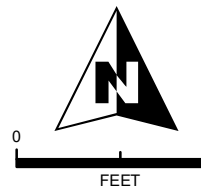


**Lot Split 2, 2024, 36-329-030**  
**21308 Waldron St., RA-4**  
**Split one parcel into two parcels**



**Planning Division**

- Tax parcel
- Minor roads



SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



May 7, 2024  
Farmington Hills Planning and Community Development Department  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

## Lot Split Review

Case: Lot Split 2, 2024  
Site: 21308 Waldron St (Parcel ID 22-23-36-329-030)  
Applicant: Mansoor Habib  
Plan Date: March 8, 2024  
Zoning: RA-4

We have completed a review of the application for a lot split referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



**SUMMARY OF FINDINGS**

**Existing Conditions**

1. **Zoning.** The total site is 0.38 acres and zoned RA-4 One Family Residential (8,500 square feet).
2. **Existing site.** The property is occupied by a house and accessory building, which the lot split plans propose to demolish. Note: the correct parcel ID for this site is 23-26-329-030; it is incorrectly provided with the suffix -034 in the property description.
3. **Adjacent Properties.**

Direction	Zoning	Land Use
North	RA-4	Single-Family
East	RA-4	Single-Family/Olde Town Park
South	RA-4	Single-Family
West	RA-4	Single-Family

**Site Plan & Use:**

1. **Summary of proposed split.** The split will result in two parcels:

Parcel	Frontage	Size
Parcel A	75 ft on Waldron St.	8,362.5 sq ft (0.19 acres)
Parcel B	75 ft on Waldron St.	8,362.5 sq ft (0.19 acres)

2. **Site configuration and access.** The site has frontage on West Nine Mile Road
3. **Dimensional standards.**

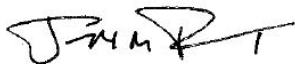
Standard	Required	Proposed
Min Lot Size	8,500 sq ft	8,362.5 sq ft (0.19 acres)
Min Lot Width	60 ft	75 ft
Depth-to-width ratio	4-to-1	1.48:1

4. **Subdivision of Land Ordinance §27-110(2)(e), Compatibility with Existing Parcels.** To assure that the public health, safety, and welfare will be served by the permission of any partition or division of land the planning commission’s review shall be in accordance with the following standards:
  - a. If any parcel does not meet zoning ordinance requirements, the request shall be denied by the planning commission. *The proposed parcels meet the standards of the ordinance.*
  - b. Any partition or division shall be of such location, size and character that, in general, it will be compatible with the existing development in the area in which it is situated. *The parcels will both have frontage on Waldron St. Parcels on this particular block have a standard size of 50 ft by 111 ft, which makes the existing lot a triple lot. The proposed split would result in two lots that are larger than most of the rest of the lots on the block (about one-and-half lots), though not as large as the current lot. Lots on surrounding blocks vary in size more, including many with widths similar to the proposed lots. The proposed lots have rear-to-rear and side-to-side relationships with adjacent lots, which is typical for the area.*
  - c. The planning commission shall give consideration to the following:

1. The conformity of the resultant parcels with zoning ordinance standards and the creation of parcels compatible with surrounding lands as to area, width, and width-to-depth ratio. *In general, the two proposed lots are compliant with the standards of the RA-4 district and similar in configuration to lots in the area.*
2. The orientation of the yards of proposed parcels in relationship to the yards of surrounding parcels in order to avoid incompatible relationships, such as but not limited to, front yards to rear yards. *It does not appear that the proposed division will result in an incompatible relationship with surrounding parcels.*
3. The impact of any existing flood plains, wetlands, topography, or other natural features and physical conditions on the resulting parcels so that such parcels are compatible with other surrounding lands in terms of buildable area. *The site is not affected by wetlands.*
4. The relationship of the front, side, and rear yards to the yards and orientation of buildings on other existing and potential parcels. This shall include the probable orientation of buildings on the parcels resulting from the proposed division or partition. *The split would create two lots on which buildings would be oriented toward Waldron St, as is the case with other lots on the west side of this block.*

We are available to answer questions.

Respectfully,  
**Giffels Webster**

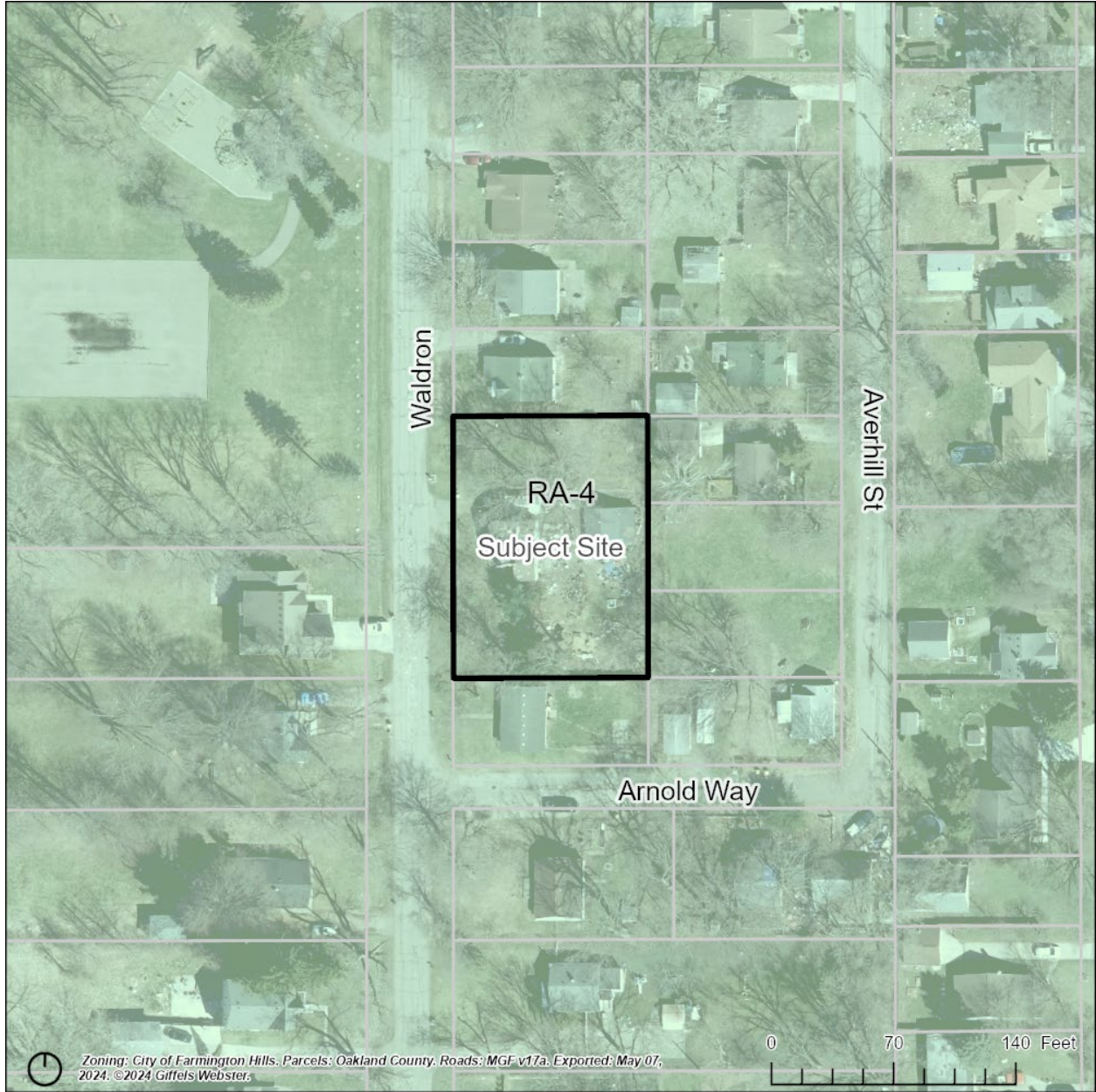


Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner






Zoning





DEPARTMENT OF PUBLIC SERVICES  
JACOB RUSHLOW, P.E., DIRECTOR

### INTEROFFICE CORRESPONDENCE

**DATE:** April 24,2024  
**TO:** Planning Commission  
**FROM:** James Cubera, Engineering   
**SUBJECT:** Lot Split 2,2024  
21308 Waldron Ave  
22-23-36-329-030

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This office has performed a preliminary review of the above referenced lot split plan submitted to the Planning Department on April 3,2024 and forwarded to the Engineering Dept on April 17, 2024. The plan must meet the requirements of the Section 27 of the City Code (Section C-11-99) which became effective on January 3, 2000. Note that under section 27-130-2c-1, a signed approval of the Engineering Division indicating compliance of section 27-110, Paragraph 2 (H) is necessary. Our preliminary comments are as follows:

1. The plan must include a detailed topographic survey of the property with actual dimensions, easements of record, all utilities and identification of information that would be typical of a usual topographic survey. The survey must extend a minimum of 50 feet offsite.
2. A 10-inch public sanitary sewer exists along the west side of Waldron Avenue across the frontage of the parent parcel. It is unclear if existing sewer leads extend to both resultant parcels. This must be verified. If they do not exist or are not usable new ones will be required by the developer in advance of the City Engineering Division signing off on the split. These are typically required to be bored.
3. A 10" water main most likely HDPE pipe exists along the east side of Waldron and is available for service.
4. All resultant parcels have access to Waldron Avenue. Therefore, no private road requirements will be in effect.

5. Waldron Avenue is a residential public road, and no sidewalk requirements are in effect.
6. It is suggested that a master grading plan be submitted in advance of the proposed split being approved to address any possible constructability issues.



**INTEROFFICE CORRESPONDENCE**

**TO: Planning Commission**

**FROM: Jason Baloga, Fire Marshal**

**DATE: April 22, 2024**

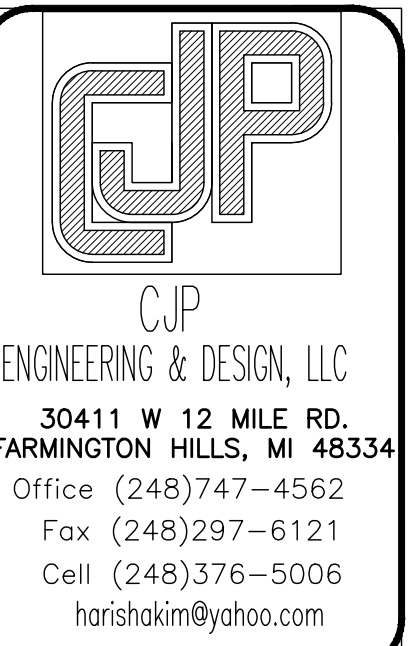
**RE: Lot Split 2-2024, 21308 Waldron Street**

The Fire Department has no objection to approval of this lot split.

A handwritten signature in blue ink, appearing to read 'Jason Baloga'.

Jason Baloga, Fire Marshal





PROJECT:  
SINGLE FAMILY RESIDENCE  
#18-04-326-034  
2388 RECREATION DR  
WEST BLOOMFIELD MI  
48324

OWNER:  
OWNER:  
OWNER:

SUBMITTAL:  
 OWNER BIDDING  
 MUNICIPAL CONSTRUCTION  
 OTHER

DATE: 03/08/2024

REVISIONS:

DESIGNED BY: H.H.  
DRAWN BY: H.H.  
REVIEWED BY: HARIS HAKIM, P.E.

SEAL

NOTES:  
ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH THE CURRENT CODES, ORDINANCES AND REQUIREMENTS AS ADOPTED BY THE LOCAL GOVERNING BODY WHERE THE BUILDING IS TO BE LOCATED.

DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR CORRECTION. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS SHOWN ARE FINISHED SURFACES TO FINISHED SURFACES UNLESS NOTED OTHERWISE.

ALL PORREED CONCRETE FOOTINGS SHALL EXTEND TO A MINIMUM DEPTH OF 42" BELOW PROPOSED FINISHED GRADE, AND SHALL BEAR ON VIRGIN UNDISTURBED SOIL. ADDITIONAL DEPTH MAY BE REQUIRED AS DICTATED BY SOIL CONDITIONS. ALLOWABLE SOIL BEARING PRESSURE OF 2500 P.S.F. IS ASSUMED IF NOT SPECIFIED FOR FOOTING SIZES SHOWN ON DRAWING. VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY OF 2500 P.S.F. AT EACH JOB SITE IS RESPONSIBILITY OF CONTRACTOR. ALL SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.

SHEET TITLE: LOT SPLIT  
SCALE: NOTED  
SHEET #: SP-1

# LOT SPLIT

ADDRESS: 21308 WALDRON  
FARMINGTON HILLS, MI 48336  
PARCEL ID #: 22-23-36-329-030

## DESCRIPTIONS:

PARENT PARCEL# 18-04-326-034

T1N R9E, SEC 36 STOLZ SUB LOTS 2,3&4 10/16/85 FR 011, 012 & 013

PARCEL A  
T1N R9E, SEC 36 STOLZ SUB LOT 2 AND SOUTH HALF OF LOT 3  
10/16/85 FR 011, 012 & 013

PARCEL B  
T1N R9E, SEC 36 STOLZ SUB LOT 4 AND NORTH HALF OF LOT 3  
10/16/85 FR 011, 012 & 013

ZONING:  
ZONED: RA-4 (ONE FAMILY RESIDENTIAL)

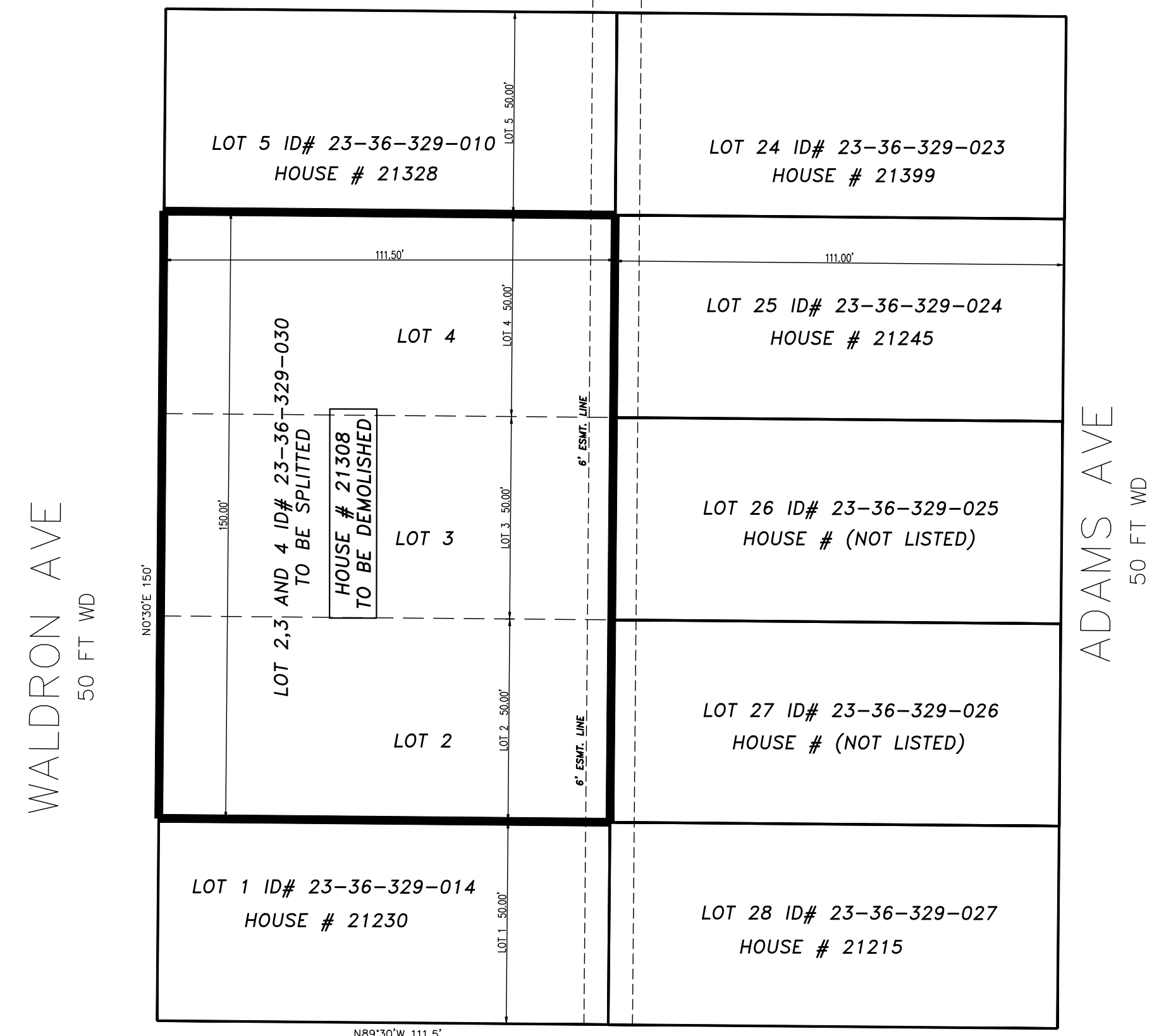
LOT SIZE:  
MIN. LOT AREA : 8,500 SQ.FT.  
MIN. LOT WIDTH: 60 FT

SETBACKS:  
MIN. FRONT SETBACK= 25 FT MIN.  
MIN. REAR YARD SETBACK = 35 FT  
MIN. SIDE YARD SETBACK = 5 FT MIN ONE SIDE,  
15 FT TOTAL TWO SIDES

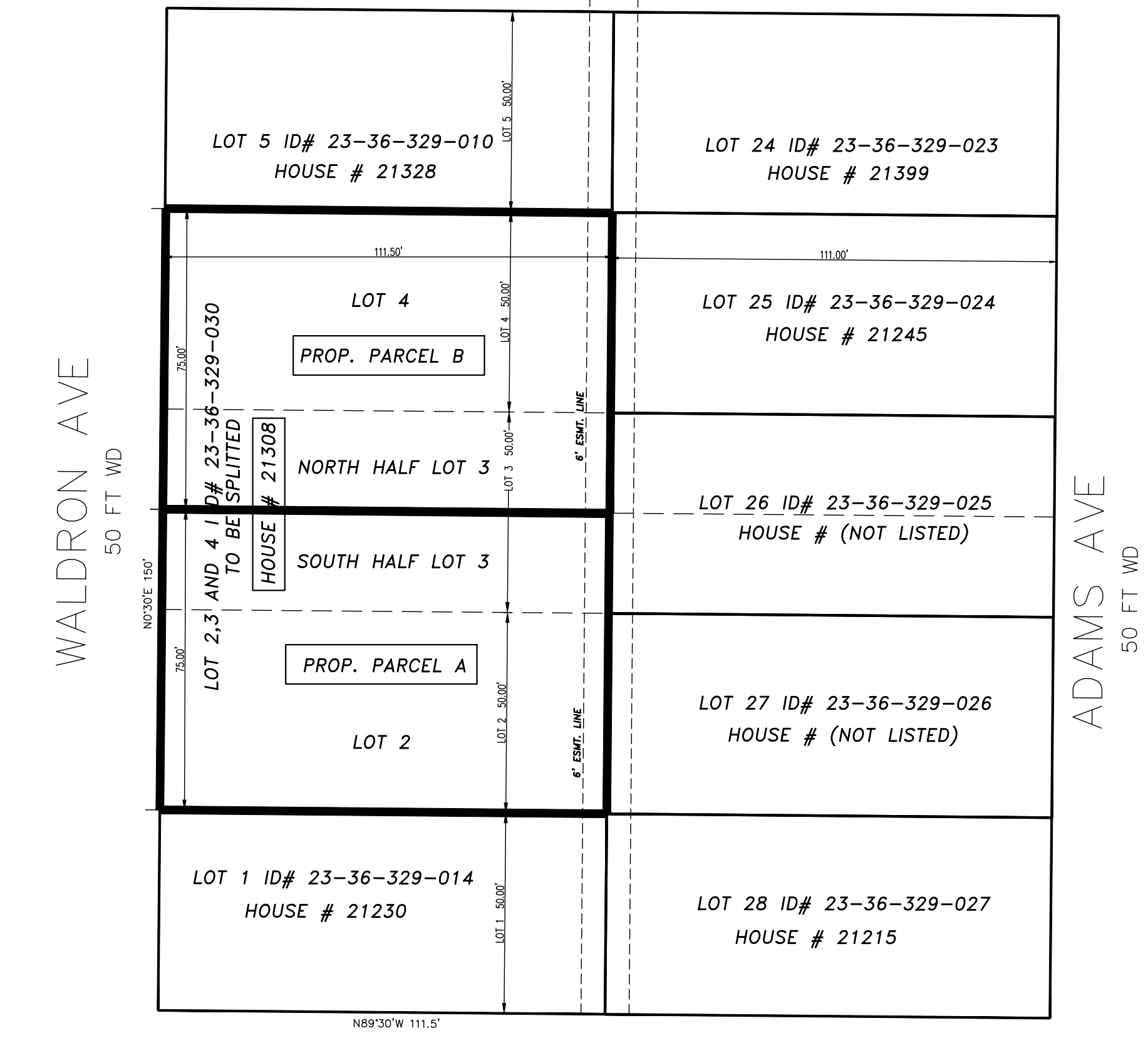
BUILDING HEIGHT:  
MAX. BUILDING HEIGHT : 25 FT

LOT COVERAGE:  
MAX. LOT COVERAGE PER UNIT = 35%

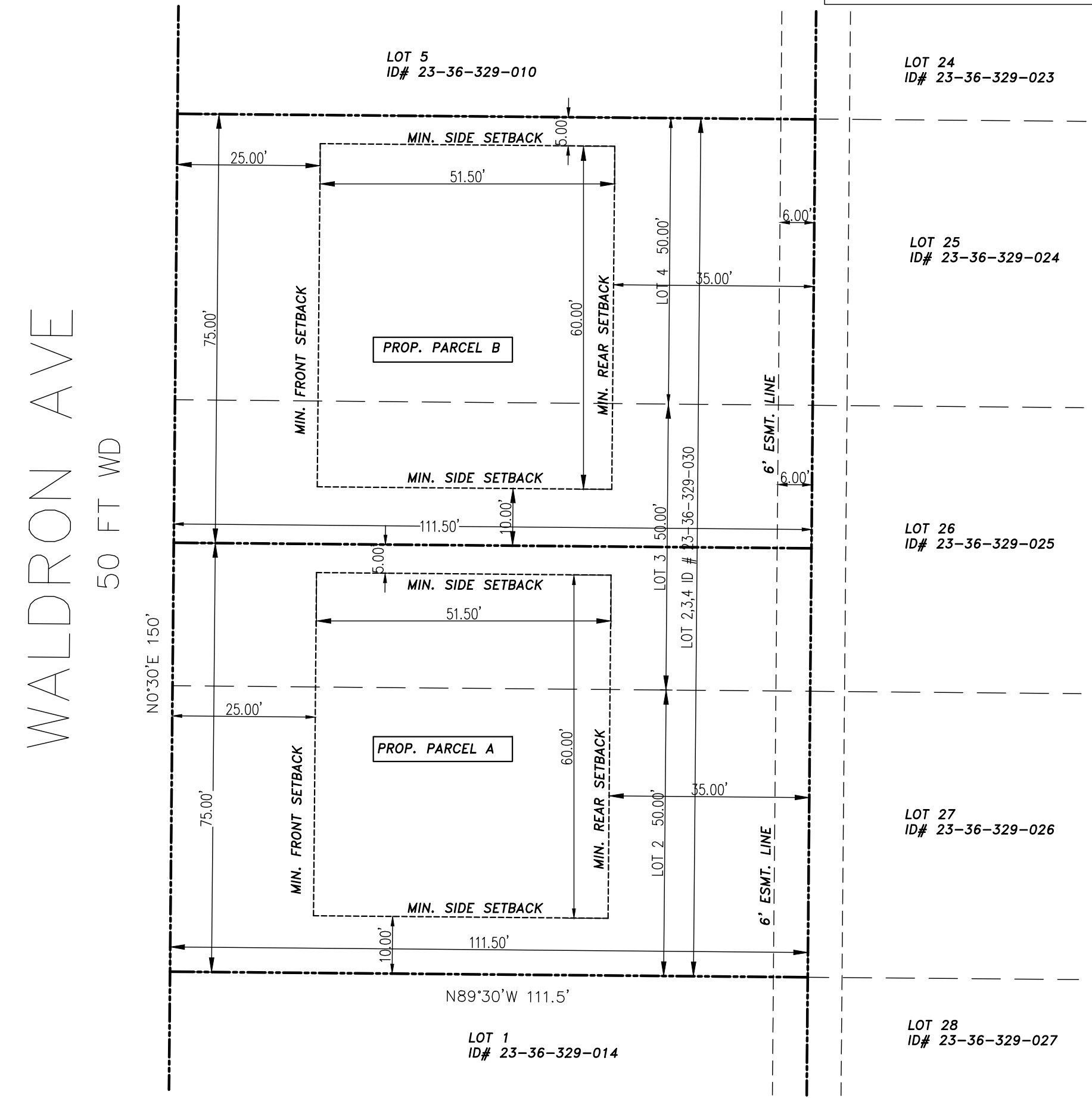
FLOOR AREA:  
TOTAL FLOOR AREA MIN. PER UNIT : 700 SQ.FT.  
GROUND FLOOR AREA MIN. PER UNIT: 500 SQ.FT.



LOT LOCATION  
SCALE 1"=30'



PROPOSED LOT SPLIT  
SCALE 1"=30'



SPLITTED LOT  
SCALE 1"=20'

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION SPECIAL MEETING  
MASTER PLAN STUDY  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
APRIL 18, 2024 5:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Special Meeting was called to order by Chair Trafelet at 5:30pm.

**ROLL CALL**

Commissioners present: Brickner, Mantey, Trafelet, Stimson, Varga, Ware (arrived 6:18pm)

Commissioners Absent: Aspinall, Countegan, Grant

Others Present: Director of Planning and Community Development Kettler-Schmult, City Planner Perdonik, Staff Planner Canty, City Attorney Schultz, City Council Member Knol, Planning Consultants Bahm, Tangari, and Upfal

**APPROVAL OF THE AGENDA**

**MOTION by Stimson, support by Varga, to approve the agenda as published.**

**Motion passed unanimously by voice vote.**

**MASTER PLAN STUDY**

**A. Continued Review Draft Master Plan**

Planning Consultant Tangari led the Commission through a final discussion of the 03/14/24 draft 2024 Master Plan, *The Next 50*. The Master Plan text reflects Planning Commission discussions as well as public input, and the final draft will also incorporate tonight's Planning Commission comments.

All Master Plan Building Blocks and Objectives as listed in Section 03 reflects the Vision Statement:

*Farmington Hills will be an innovative, attractive, livable, safe, and financially stable community that embraces the diversity of its people and provides housing and economic opportunity for all residents.*

Discussion focused on Sections 05 – 12.

**Section 05, Future Land Use**, including the Future Land Use Map, descriptions of Future Land Use categories, and Residential Density Map, provides the “meat” of the Master Plan. One of the major differences of this Future Land Use Map versus the last one is that everything that was treated as an overlay last time is applied directly to the main map this time. This Master Plan talks more in terms of *districts* that might arise from the Future Land Use Map. Past overlays have not been as effective as desired in implementing the vision of the City.

A district outlook will provide unified zoning districts rather than a patchwork of zoning districts with an overlay laid on top. Unified district development falls in line with broader developmental strategies discussed over the last two years, including moving the City toward a form-based way of regulating land use and the built environment, and creating a sense of place in those areas where, over time, a unified development scheme results.

About 55% of the City is zoned single-family residential; this will not change. Those residential areas that are not zoned strictly single-family residential might utilize other housing than entirely detached units. A large area in the northwest portion of the City and another south of M-5 have a variety of housing types, but are identified as single-family residential on the map.

If the Master Plan is fully implemented, there will be several direct mixed-use districts in the City; currently there are none. The categories shown on the Future Land Use Map and discussed in Section 05 all work together to carry forward the fundamental character of the community while also providing for new opportunities. Parking standards and design standards, particularly in commercial districts, receive new emphasis and direction.

Regarding planned unit developments (PUDs), more specificity and importance is directed toward community benefits received in exchange for ordinance relief requested by developers who use the PUD tool.

Commissioners noted that cleaning up blight is not/should not be a public benefit under a PUD. Removing blight/keeping a property free of blight is a minimum standard of property ownership, whether that property is developed or undeveloped.

**Section 06, Special Planning Areas**, includes into two broad categories:

1. Mixed use and non-residential special planning areas
2. Residential special planning areas.

In both cases, the Master Plan provides greater flexibility than previously allowed/

Regarding mixed use and non-residential special planning areas, each area has its own characteristics, but all can benefit by an application of design standards, thinking outside of the box (e.g., office-to-residential conversions), providing safe non-motorized travel paths, establishing a specific identity through public art, and thematic architectural development and use. Social districts that include multiple restaurants can result in more liquor licenses. The Master Plan encourages the development of unique places to go, and supports entrepreneurship.

The Master Plan communicates to developers what the City would like to see. Where this vision is different than what exists, the Master Plan brings developers into that vision.

The Commission reviewed each of the Special Planning Areas as outlined in the draft Master Plan. Each Special Planning Area presents unique challenges and possibilities; all can benefit by the change to districts rather than overlays, with diversified uses, infill developments, and creating a sense of place. Change will occur gradually over time; the Master Plan sets the table for transformation.

Planning Commission suggestions included:

- A mistake of the past was to divide communities via the construction of massive freeways. Replacing the M-5 freeway with a large boulevard with a wide median will have the same unfortunate divisive



effect. Long-term, consider a roundabout at Grand River and Orchard Lake Road, possibly having the freeway end at that location. This would open up the entire area east of Orchard Lake Road.

- Construct walking trails by the river south of Folsom Road.
- Some commercial areas with very narrow lots due to residential uses to the rear might, over the next 50 years, see the commercial lots expand and deepen as homeowners desire to sell, creating a win-win opportunity for all. The zoning needs to reflect this possibility. Perhaps this Master Plan would not show this type of change directly, but could mention in the narrative the direction such development might take.

Regarding residential special planning areas, Planning Consultant Tangari confirmed with the Commission that they wanted to see flex residential use (not flex residential office) on both sides of Orchard Lake Road south of the OCC Campus, and north of 11 Mile Road.

### **Section 07 – Transportation Plan.**

- The Master Plan sets out some of the conceptual basis for *Complete Streets* and increased non-motorized transportation, targeting some areas that can make specific improvements and/or make better connections between two areas. Future pathways should allow pedestrians and bicyclists to avoid high-crash areas across the City.
- The Master Plan should address desired bus service and accompanying amenities. No one will take the bus if taking the bus is arduous. There were no bus shelters in the City except the one that was required as part of the Botsford (now Corewell) PUD. A bus shelter is a mini-placemaking opportunity, and can provide space for public art.
- SMART had agreed to leave the bus stop on Orchard Lake Road south of 14 Mile Road.
- SMART is offering a limited version of its FLEX program within Farmington Hills (not offering city-to-city).

### **Section 08 – Housing Plan**

The City is seeking to improve attainability, and offering potential accommodations to multi-generation households who are living together, including accessory dwelling units. Options should be available for aging in place as well as aging in community. Implementing residential design standards can address these issues.

### **Section 09 – Arts & Placemaking**

Building on the art in City Hall, the Master Plan encourages finding ways to focus on art and creative energy throughout the various neighborhoods and districts. Arts and placemaking contribute to the overall health of residents, and contribute to economic development as well. Arts and placemaking can provide opportunities for community benefits under PUD agreements. As mentioned in previous meetings, “percentage for arts” development fees should be explored. The goal is to establish a sustainable and efficient public arts administration system.

### **Section 10 – Sustainability & Resiliency**

This section lays out sustainability strategies and approaches. This is a very wide category, including such divergent topics as environmental sustainability, as well as addressing vulnerable populations (including linguistic vulnerability), and the need for young people to stay in the City. Such things as power grid and infrastructure sustainability and resiliency fall under this section. Interrelatedness must be acknowledged. For instance, the need for tree canopy must be balanced against consistent power delivery.

### **Section 11 – Economic Development Plan**

The importance of the City’s Economic Development Plan to Master Plan implementation started with the market survey that was launched in 2022. The study attempted to identify marketable opportunities for various uses within the Farmington Hills area, and the office space (including home office space) needed to take advantage of those opportunities. The Economic Development Strategy was developed in concert with Economic Development Director Brockway.

### **Section 12 - Implementation**

The Zoning Plan included in this chapter equates the Future Land Use categories with either existing zoning districts or notes that there isn't a zoning equivalent. The Zoning Plan points the way to amending the Zoning Ordinance and the Zoning Map to more closely correlate with the Future Land Use Map.

Commission discussion:

- In general, the draft Master Plan moves the City toward form-based zoning, within the confines of the Euclidean zoning districts that have been used since the City’s first zoning ordinance was implemented. The result is a hybrid code that utilizes both systems, with form-based elements drawing the City toward a certain character of development, draped over the original Euclidean framework.
- New terms such as flex-residential and flex-residential-office do not appear in the current Zoning Ordinance. New ordinances will have to be written to define these terms and develop districts that can use the flex concept.
- The work of the Planning Commission is just beginning in terms of revising the Zoning Ordinance, the biggest implementation tool of the Master Plan vision.

**MOTION by Varga, support by Brickner, to request that City Council authorize staff to distribute the draft Master Plan as required by the Michigan Planning and Enabling Act.**

**Motion passed unanimously by voice vote.**

Planning Consultant Bahm explained that City Council’s approval for distribution will start the 63-day time period, after which the Master Plan will come back to the Planning Commission for public hearing, and final approval and adoption. The Master Plan will be on Council’s agenda on May 13.

### **PUBLIC COMMENT**

Five residents were in attendance.

Paul and Ann Conarty, Metroview, discussed the Metroview special area with the Commission. This area is shown as *single family, cluster* on the Future Land Use Map.

### **COMMISSIONER COMMENTS**

Benefits associates with PUDs should include sustainability elements such as energy efficiency, and low impact development (LID) relative to stormwater management, etc.

### **ADJOURNMENT**

**Motion by Brickner, support by Stimson, to adjourn the Special Meeting at 7:05pm.**

**Motion carried unanimously by voice vote.**

City of Farmington Hills  
Planning Commission Special Meeting – Master Plan Study  
April 18, 2024  
Page 5

DRAFT

Respectfully Submitted,  
Kristen Aspinall  
Planning Commission Secretary

/cem



**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
APRIL 18, 2024, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Trafelet at 7:30 p.m.

**ROLL CALL**

Commissioners present:           Aspinall, Brickner, Mantey, Trafelet, Stimson, Varga, Ware

Commissioners Absent:           Countegan, Grant

Others Present:                   City Planner Perdonik, Staff Planner Canty, Staff Engineer Alexander,  
City Attorney Schultz, Planning Consultants Tangari and Upfal

**APPROVAL OF THE AGENDA**

**MOTION by Brickner, support by Aspinall, to approve the agenda as submitted.**

**Motion passed unanimously by voice vote.**

**PUBLIC HEARING**

**A. SPECIAL APPROVAL 52-3-2024**

LOCATION:                       32680 Northwestern Highway  
PARCEL I.D.:                   22-23-02-126-130  
PROPOSAL:                    Temporary concrete batch plant in B-2, Community Business and B-3,  
                                      General Business zoning districts  
ACTION REQUESTED:        Special Land Use and Site Plan approval  
APPLICANT:                   Florence Cement Company - Steve Gregor  
OWNER:                        NWH Holdings, LLC

**Applicant presentation**

Steve Gregor, Florence Cement Company, was present on behalf of this request for a Special Land Use and Site Plan approval for a temporary concrete batch plant at 32680 Northwestern Highway.

Referencing his March 20, 2024 letter, Mr. Gregor said the temporary concrete batch plant would service the Heritage Hills and Westwood Commons Subdivision Phase IV project in the City. The project will take most of the summer, although they anticipated that the batch plant will be in operation for 17 days of paving during that time, or less than 9% of the total work days on the project. The batch plant is permitted through EGLE (Michigan Department of Environment, Great Lakes and Energy) for air quality standards and soil erosion permits. The operation will be self-contained; there will be a water truck on site for dust control. Hours of operation will be Monday – Saturday, 7am to 7pm.

**Planners Review**

Referencing the April 10, 2024 Giffels Webster memorandum, Planning Consultant Tangari gave the background and review for this request for Special Land Use and Site Plan Approval.

The applicant is proposing a temporary concrete batch plant with up to 11 employees. The application specifies that the time frame for the batch plant will be 186 days or through October 18, 2024, whichever is sooner. The plant is being erected to support two subdivision projects, and there will be an estimated total of 17 paving days per subdivision during its term of operation. Turf restoration will occur by June 13, 2025 (though the cover letter notes that much of the work will occur by mid-November, 2024). Requested hours of operation are 7am to 7pm, Monday through Saturday, with no work on holidays.

This applicant operated a plant at 23400 Drake in 2020 and 2021, and on this site in 2022.

The only outstanding issue was that setbacks to the equipment and enclosure were not provided, but these did appear to be met; minimum district setbacks are shown on the plan and the area used for the plant is within the buildable portion of the lot. The applicant should, however, provide setback distances.

In the B-2 and B-3 districts, cement batch plants are not permitted by right. They are, however, permitted as a special land use under Section 4.20.4.C, subject to the following:

- C. Temporary construction uses not accessory to existing uses. Temporary construction uses and structures not directly accessory to any existing use of the zoning lot, but necessary for the use or improvement of some other property or properties within the City for a permitted purpose.
- i. The planning commission shall examine the proposed use and determine that the petitioner has adequately explored alternative locations and that the location proposed is the most reasonable.
  - ii. The planning commission shall examine the location of structures on the site and determine that they are the most appropriate, may require reasonable temporary screening of the activity proposed, may suggest the location of vehicular access to the site and make other recommendations which will assist in the protection of nearby uses during the time the construction use is in operation.
  - iii. All setbacks, land coverage, off-street parking, lighting and other requirements for protecting the public health, safety, peace, morals, comfort, convenience and general welfare of the inhabitants of the city shall be determined by the planning commission as being appropriate to the site and surrounding area.
  - iv. The act of granting approval of a use not otherwise permitted in a district shall in no way be construed as a change in the basic uses permitted in the district nor on the property wherein the use is permitted.
  - v. The granting of permission for the use shall be made in writing stipulating all conditions as to length of time, nature of developed permitted and arrangements for removing the use at the termination of the period of time granted. The minutes will suffice to meet this requirement.

In response to questions, Mr. Gregor provided the following further information:

- The batch plant will operate only on the 17 days that concrete will be produced. There will be activity on the site specifically to do aggregate testing a day or two before each paving day.
- The site will be stripped and gravel spread. On windy days they will be prepared with water to make sure dust does not spread. Florence Cement Company works hard to be good stewards, and they will immediately address any concerns brought to them from the Engineering Department.
- All the concrete will be used in Farmington Hills, specifically for the Heritage Hills project.

- The batch plant is a concrete plant, and does not make cement. Cement is an ingredient brought to this location, but not manufactured here. Everything is contained in a closed system.
- Their intent is to have the batch plant removed and the site restored by November 15, 2024.

In response to questions, Planning Consultant Tangari explained that an apartment building has been approved for this site. However, the developer has a certain amount of time (3 years) to construct that project, which allows time for this temporary batch plant to operate at this location in 2024.

Commissioner Ware pointed out that the City needed housing, and the proposed apartment building would help fill that need. The City needed assurances and needed to be able to manage approvals so that once a project was approved, it would be built in a timely way.

Chair Trafelet acknowledged written comments received via email on April 5, 2024 from Andrew Fu. Chair Trafelet opened the public hearing.

As no public indicated they wished to speak on this matter, Chair Trafelet closed the public hearing and brought the matter back to the Commission.

Commissioner Mantey pointed out that this area has a lower density than the area at Drake and Grand River, which is also often used for temporary batch plants. Temporary batch plants have to be accommodated in order for City roads to be repaired and maintained, and he supported this request.

**MOTION by Varga, support by Brickner, that Special Approval Plan 52-3-2024, dated March 20th, 2024, submitted by Florence Cement Company, Steve Gregor, BE APPROVED, subject to all applicable provisions of the zoning chapter for the following reasons:**

1. **The use would not be injurious to the district and environs.**
2. **The effects of the use would not be contrary to the spirit and intent of the Zoning Chapter.**
3. **The use would be compatible with existing uses in the area.**
4. **The use will not interfere with the orderly development of the area.**
5. **The use will not be detrimental to the safety or convenience of vehicular or pedestrian traffic.**

**Motion passed unanimously by voice vote.**

**B. ZONING TEXT AMENDMENT 1, 2024**

CHAPTER OF CODE: 34, Zoning Ordinance

PROPOSED AMENDMENT: Amend Zoning Ordinance to include new subsection addressing electronic messaging center area

ACTION REQUESTED: Recommendation to City Council

SECTION: 34-5.5.3.A.ix

City Planner Perdonik explained that his April 5, 2024 memorandum addressed questions and concerns brought forward by the Planning Commission at its March meeting, when this item was set for public hearing.

A recent review of bonus signs and sign areas for freestanding signs permitted under the Zoning Ordinance in the Expressway Service (ES) and Light Industrial (LI-1) districts, as provided in Section 34-5.5.3.A.iv of the Zoning Ordinance, indicates that there is no limit on the portion of a sign that



may be devoted to an electronic display. Which is to say that these bonus signs (up to 100 or 150 square feet in the ES district and up to 300 square feet in the freeway sign area of the LI-1 district per Section 34- 5.5.3.A.xi) could potentially be entirely electronic. This may be an unintended consequence of the bonus provisions, allowing these signs to change the character of the roadway and the character of Farmington Hills. The memo additionally looks at whether the bonus sign areas should be reduced.

The proposed amendment to Section 34-5.5.3.A.ix adds new item “h”, which reduces the allowed electronic display area of a sign, so that the electronic display cannot exceed 30% of the total sign area or 30 square feet, whichever is larger. The memorandum and accompanying information included samples of 13 southeast Michigan communities, all of which are located along freeway corridors. Some communities do not permit electronic billboard type signs at all, while others allow 600+sf of electronic signage. The “in-between” communities allow a certain portion of the square footage to be electronic, or cap the electronic portion at a set number of square feet.

The proposed amendment provided a middle-ground ordinance that also provided a clear standard for enforcement.

Commissioner Brickner noted that when the City didn’t allow any billboard signs it was the subject of a lawsuit. Will this proposed ordinance be likely to result in litigation?

City Attorney Schultz explained that the current ordinance was written while the City was in litigation, in response to that litigation. The amendment being discussed tonight represented a middle ground among other zoning ordinances in Southeast Michigan communities. He did not have a problem with the amendment as presented.

City Planner Perdonik noted that the ordinance already had certain lighting standards in terms of brightness and foot candles at the property line. Other provisions of the lighting and sign ordinances could be reviewed at a future date.

Chair Trafelet opened the public hearing. Seeing that no public indicated they wished to speak on this matter, Chair Trafelet closed the public hearing and brought the matter back to the Commission.

After discussion and amendment, the following motion was offered:

**MOTION by Stimson, support by Varga, to recommend to City Council the adoption of Zoning Text Amendment 1, 2024, an amendment to the sign ordinance section as submitted this evening, adding new subsection h, relating to the electronic display area of signs.**

**Motion passed unanimously by voice vote.**

## **REGULAR MEETING**

### **A. LOT SPLIT 1, 2024 (FINAL)**

LOCATION: 34037 Nine Mile Road  
PARCEL I.D.: 22-23-33-202-043  
PROPOSAL: Split one (1) parcel into two (2) parcels in RA-3, One Family Residential zoning district  
ACTION REQUESTED: Lot Split approval (final)

APPLICANT: Eraldo Leba  
OWNER: Arlint Berber

Referencing the April 10, 2024 Giffels Webster memorandum, Planning Consultant Upfal gave the background and review for this request for lot split approval. There were no specific outstanding issues. However, under the Subdivision of Land Ordinance 27-110(2)(e), Compatibility with Existing Parcels, the Planning Commission did need to ensure that certain standards were met. These standards were outlined on pages 2-3 of the memorandum.

- The parcel is zoned RA-3 and contains 1.5 acres. The property is currently vacant, and is adjacent to RA-3 zoning and is across the street from industrial zoning (to the north).
- The proposed split will result in two parcels, one of which has an 80 foot frontage and one of which has a 100 foot frontage. Parcel B with the 100 foot frontage also has more extensive depth and is a flag shaped lot. This site has frontage on West Nine Mile and the proposed lots meet all of the minimum requirements for lot size, lot width and depth to width ratio.
- The parcels do meet all of the standards of the Zoning Ordinance with respect to width and depth. It should be noted that the split will create a rear to side relationship between the parcel to the south and both proposed parcels A and B. In addition, it will create a rear to side relationship between parcel A and the four adjacent parcels to the west. This is similar to the arrangement of lots one block west along West Nine Mile Road between Cass and Gill Roads. The primary difference in configuration between the proposed lots and other lots in the area is the creation of the flag shape of parcel B. The Planning Commission should consider the following.
  - Although parcel B is flag shaped, the majority of the lot has frontage on West Nine Mile Road. Parcel B is deeper than other lots in the neighborhood, but that depth is comparable with those lots that also have Nine Mile frontage. The proposed split will result in lot widths for both parcels that are more consistent with surrounding lots. Parcel A is more similar to the neighborhood lots on Cass and Gill.
  - There will not be any front to rear yard relationships created as a part of this proposed split.
  - Additional delineation of any wetlands, including hydric soils, may be required prior to the issuance of any building permits for this site.
  - Parcel B is deeper than other lots in the neighborhood, but that depth is comparable with lots that also have frontage on West Nine Mile. The lot split will create more consistent lot width for both parcels that are more consistent with surrounding lots. As noted, the split will create a flag shaped lot for lot B, but with sufficient frontage that meets the width to depth ratio required under the land division act.

Noting the applicant was not present, Chair Trafelet indicated he was ready to entertain a motion.

**MOTION by Varga, support by Aspinall, that (Final) Lot Split 1, 2024, submitted by Eraldo Leba, BE APPROVED, because it appears to meet the ethical provisions of Chapter 34, “Zoning,” and Chapter 27, “Subdivision of Land,” of the City Code and will result in land parcels generally compatible with surrounding parcels in the vicinity; and that the City Assessor be so notified.**

**Motion passed unanimously by voice vote.**

**B. REZONING REQUEST ZR 3-3-2024**

LOCATION: West side of Middlebelt Road, just north of Astor Avenue  
PARCEL I.D.: 22-23-26-480-046  
PROPOSAL: Rezone one (1) parcel from P-1, Vehicular Parking to RA-4, One

ACTION REQUESTED: Family Residential zoning district  
Set for Public Hearing  
APPLICANT: Rane Jappaya  
OWNER: 22595 Middlebelt, LLC

Rane Jappaya, applicant, was present on behalf of this rezoning request. The site was currently zoned P-1 parking. They had owned this property for a number of years, and were asking to utilize the site for residential use.

Referencing the April 10, 2024 Giffels Webster memorandum, and noting that this request was to set the matter for public hearing, Planning Consultant Upfal gave the background and review for this rezoning application.

The subject property is split zoned, but is primarily zoned P-1 Vehicular Parking District, with only a small 20' x 110' area zoned RA-4 along the northern boundary. The applicant is requesting to rezone the entire lot to RA-4 to permit a residential duplex use. Duplexes are not listed as permitted uses in the P-1 Vehicular Parking District. A duplex may be constructed in the RA-4 District under the major road frontage option outlined in Section 34-3.18.

Planning Consultant Upfal reviewed the Items To Consider For Zoning Map Amendment that were listed on pages 3-6 of the review memorandum. The rezoning would permit the use of the full property for residential use, consistent with the majority of residential properties in the area.

**MOTION by Brickner, support by Varga, that Rezoning Request 3-3-2024, dated March 18th, 2024, submitted by Rane Jappaya, to rezone property located at Parcel Identification Number 22-23-26-480-046 Oakland County, Michigan, from P-1, Vehicular Parking to RA-4, One-Family Residential District, be set for public hearing for the Planning Commission's next available regular meeting agenda.**

Commissioner Mantey said he would oppose this motion to protest any increase in residential density, including duplexes, in an area that has a high number of pedestrian accidents with automobiles. He did think the construction of duplexes across the street from the mobile home development was appropriate.

**Motion passed 6-1 by voice vote (Mantey opposed).**

**C. REZONING REQUEST ZR 4-3-2024**

LOCATION: 27815 and 28025 Middlebelt Road; three (3) parcels on west side of Middlebelt Road, between Orion Court and Twelve Mile Road  
PARCEL I.D.: 22-23-11-477-013, 014, and 109  
PROPOSAL: Rezone three (3) parcels from RC-2, Multiple Family Residential to B-3, General Business zoning district  
ACTION REQUESTED: Set for Public Hearing  
APPLICANT: Skilken Gold Real Estate Development  
OWNER: HRA Farmington Hills, LLC

Referencing the April 10, 2024 Giffels Webster memorandum, Planning Consultant Upfal gave the background and review for this request to set for public hearing the request to rezone 3 parcels from

RC-2, Multiple Family Residential to B-3, General Business zoning district, located at 27815 and 28025 Middlebelt Road.

Planning Consultant Upfal made the following points:

- The parcels have had the RC-2 zoning designation since 2019. Prior to that, the zoning was a mix of B-2 at the corner, P-1 in the west central portion of the property, and RA-1 in the northern half.
- Parcel -109 is 2.39 acres and includes a vacant 10,134 SF commercial building and parking area. Parcel -014 is 0.82 acres and is vacant. Parcel -013 is .82 acres and includes a single-family house and accessory structures. A senior housing project was twice approved for this property in 2019 and 2021, but was never built.
- The master plan designates this area as shopping center type business on the corner lot and the remaining lots are multiple family residential.
- The applicants are requesting to rezone the entire lot to B3 to permit a fueling station with convenience store and restaurant. When a site plan is presented at a future date, a front street must be identified.
- The B-3 land use permits a long list of commercial uses, including the proposed gas station, convenience store and restaurant. These are also permitted uses in the B-1 and B-2 districts, but the gas station is a special land use in those districts.
- With proximity to a residential on the northern, eastern and western boundaries, the Planning Commission may wish to consider whether a more transitional zoning classification may be appropriate and better aligned with the future land use map. The B-1 zoning district permits carry out restaurants and convenience stores as principal uses and gasoline stations as a special land use, and is consistent with the zoning to the east and south of the site, which are also both gas stations. Furthermore, the B-1 classification is consistent with the current shopping center type business future land use designation.
- Another important consideration is that the site presently includes the structure that is used as a single family house. If the residential use is continued, the proposed rezoning would result in the creation of a nonconforming situation. The Planning Commission may wish to postpone the request until the applicant demonstrates intent to abandon continuation of the single family use.
- The Planning Commission should also address the question of whether the proposed change would result in a spot zone.

Members of the development team present this evening included:

- Kareem Amr, Skilken Gold Real Estate Development, 4270 Morse Road, Columbus OH
- Aman Walia, Sheetz Real Estate Team
- David Bruckelmeyer, Sheetz
- Patrick Lennon, Honigman Law Firm
- Lauren Falzerano, Kimley-Horn Engineers

Mr. Amr said that after receiving the planner's review and meeting with staff, they were amending the application to request rezoning to the B-1 zoning district.

The proposal was for a Sheetz facility, which offers a made-to-order restaurant and convenience store, as well as a fueling station. Architecture will be 4-sided, with brick, stone, and glass elevations. Sheetz has a loyal fan base that comes for its food.



Typically Sheetz offers a drive-through component for its restaurant; this has been removed for this location. The site plan includes pedestrian walkways and other components that staff has requested. The existing structures on site will be demolished; most of the existing foliage will remain.

Mr. Walia gave some of the background of the Sheetz company, which was family owned. Sheetz was a one-stop shop for their customer base.

Planning Commission discussion:

Commissioner Stimson said while he was not necessarily opposed to the plan as presented, he was opposed to rezoning this site, which had already been rezoned very recently for a project that did not go forward. If the Commission again rezones the property, and the project doesn't go through, any B-1 use can go on the property as a matter of right. This project should come to the Commission as a Planned Unit Development (PUD) request.

In response to Commissioner Stimson's comments and other Commissioner questions, the applicant team provided the following:

- They were concerned that the project would not qualify for a PUD. The Master Plan envisions this site as a B-1 site, which will be reflected in the revised submission.
- In response to concerns about the property that fronted Orion Court, a residential neighborhood, that property would not be developed, but would act as a buffer to the neighborhood, along with a larger buffer provided between the Sheetz development and the residential neighborhood to the north.

After discussion, there appeared to be consensus that Commissioners would like to see this proposal come back as a PUD. However, that was not what was before the Commission this evening. City Attorney Schultz suggested that the public hearing be set for the amended request for B-1 zoning, which change could be made tonight. In the meantime, the applicants could continue to discuss a potential PUD request with staff. The Commission could not set a public hearing for a PUD request tonight; that request would have to come in separately.

Commissioner Stimson reiterated that he was not in favor of rezoning these parcels as requested. He would like to see the application come back as a PUD.

**MOTION by Mantey, support by Aspinall, that Rezoning Request 4-3-2024, dated March 18th, 2024, submitted by Skilken Gold Real Estate Development to rezone property located at Parcel Identification Number 22-23-11-477-013-04 and 109, Oakland County, Michigan, from RC-2 Multi-Family Residential to B-1 (as amended this evening), General Business District, BE SET FOR PUBLIC HEARING for the Planning Commission's next available regular meeting agenda.**

**Motion passed unanimously by voice vote.**

In response to applicant questions, the applicants were instructed to contact staff regarding changing this application to a PUD.

**D. PLANNED UNIT DEVELOPMENT (PUD) QUALIFICATION 1, 2024**

LOCATION: South side of Thirteen Mile Road, approximately 0.3 miles west of Middlebelt Road  
PARCEL I.D.: 22-23-11-201-001, 002, 004, 005, 006, 020, and 021

PROPOSAL: Construction of ranch and townhomes in RA-1, One Family Residential zoning district  
ACTION REQUESTED: Qualification of PUD  
APPLICANT: Schafer Development, LLC  
OWNER: MOBI Investments, LLC, and Detroit Baptist Manor

Spencer Schafer, Steve Schafer, and Aaron Schafer were present on behalf of this request for PUD qualification, in order to construct a ranch and townhome development in the RA-1 residential zoning district, on parcels located on the south side of Thirteen Mile Road, approximately 0.3 miles west of Middlebelt Road. Ryan Goleski and Ryan Doelle, Baptist Manor, were also present.

Spencer Schafer provided the following information:

- Schafer Development is under contract with property owner Moby Investments, LLC. Schafer Development and Baptist Manor are coordinating their efforts on a PUD qualification, to ensure both properties are developed in a cohesive and complementary land use pattern.
- The applicants have had substantial outreach to the neighbors (Westgate, Holly Hills) in the first 3 months of this year. Additionally, they had watched the recordings of the Planning Commission and City Council meetings for the previous proposal for this site, and understood neighbor concerns as stated in those meetings.
- The properties are currently zoned RA-1 single family. However, the likelihood of the properties being developed as single-family homes is very low. The draft Master Plan currently under consideration contemplates this parcel for flex residential, allowing a variety of single residential products up to 3 stories in height.
- Neighbors' concerns included setbacks, traffic, density, building height. Based on conversations with the neighbors, the applicants had revised their initial plans relative to height and density. They were requesting forty 22' wide two-story townhouses. They were also working in conjunction with Baptist Manor, who wanted to develop their property as part of this PUD with age restricted single-story condominium ranches. The result will be a multi-generational community, with townhomes targeted toward young families, and ranches targeted toward senior citizens.
- The plans as submitted met all the requirements of the RC District, with the exception of some internal side yard setbacks. The applicants were in discussion with two nationally traded home builders. The proposed setbacks are consistent or greater than other similar communities in the southeast Michigan area.
- City Engineer Cubera had communicated concern about providing internal connections to development to the west. Fire and other public safety individuals were concerned about providing good circulation within the development. The applicants felt their plan met both these concerns.
- There was a substantial change in topography to the east of the proposed site, which made further development on those single-family residential sites unlikely.
- Regarding the submitted site plan, there is an optional sunroom extension and deck extension. Homeowners who utilize that option would have a 67' setback to the Holly Hill Farms subdivision to the south. Those who did not utilize that option would have a 70' setback.
- The PUD option enables the applicant to shift the development further north, increasing the buffer to the south. This would leave a 35' greenbelt to the north, with the potential of adding landscape walls and plantings to further shield and buffer the development from the roadway. They were providing as large a buffer as possible to satisfy the neighbors to the south. Additionally, the applicants were exploring providing a 40'-50' conservation easement to the south. They had also discussed with the residents filling in any landscape gaps in that area, potentially placing some of the developer's required landscaping on neighboring properties.

- Generous setbacks had also been provided to the properties to the east and west.
- The applicants had spoken with the residential neighbor to the east; they were proposing locating the detention basin closer to 13 Mile Road and bringing the eastern townhouses closer in to the site, minimizing disruption to the east as much as possible.
- Renderings showed representative examples of the 2-story townhomes, as well as the 1-story ranches that Baptist Manor was seeking to develop.

Planning Commission questions and discussion:

Commissioner Mantey said that he would want to walk the site, to see what the planned buffer actually looked like in terms of distance from the properties to the south.

Commissioner Stimson asked if Engineering will have issues with the easternmost access not being directly opposed to the Westgate subdivision entrance to the north. And while development to the east of the proposed site might not be likely right now, some type of future access or cross easement to the east should at least be discussed, in case the residential properties to the east ever did develop. Last, per the renderings the front elevations of the townhomes provided contrasting looks, but the rear elevations were all identical, resulting in a more massive appearance, rather than presenting as distinct units.

Planner's review

Referencing the April 11, 2024 Giffels Webster memorandum, Planning Consultant Tangari gave the background and review for this request for PUD Qualification.

- The site is 12.04 acres and there are four houses present. The site has no wetlands or other notable natural features apart from trees, which are especially dense in the southern portion of the property. There are two development areas on the conceptual plan: the three easternmost properties are identified for a 2-story townhome development, and the four westernmost parcels are identified for age-restricted (55+) ranch homes.
- The applicant's concept plan shows 40 units of attached, two-story townhouses in eight buildings, each including four to six units, and 36 units of attached, one-story, age-restricted ranch townhomes in nine buildings, each including three to five units. The age-restricted portion of the project is to be constructed in collaboration with Baptist Manor, which borders the site to the west.
- Tonight the Planning Commission is being asked whether this proposal qualifies for a PUD. Qualification standards are listed on pages 2-4 of the April 11 memorandum.
  - A. The PUD option may be effectuated in any zoning district.
  - B. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity or building or use not normally permitted shall result in an improvement to the public health, safety and welfare in the area affected.

The proposed use – townhouses – is not permitted in the RA-1 district. However, this proposed use may be considered as a deviation from the ordinance as a part of the PUD. Density is consistent with the RC-1 District.

- C. The PUD shall not be utilized in situations where the same land use objectives can be accomplished by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PUD application. Asserted financial problems shall be substantiated with appraisals of the property as currently

regulated and as proposed to be regulated.

The applicant is proposing density consistent with the RC-1 district. The Planning Commission should note that the site was carried forward from the 2009 Master Plan as a "special residential planning area." During the current planning process, it has been recognized that the thoroughfare frontage of the 13 Mile corridor, particularly between Orchard Lake and Middlebelt Roads, is less desirable for single-family residential lots. A flexible residential designation has been applied to the draft future land use map.

- D. The Planned Unit Development option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those contemplated in the Future Land Use Plan unless the proponent can demonstrate to the sole satisfaction of the city that such added loads will be accommodated or mitigated by the proponent as part of the Planned Unit Development.

The number of attached units proposed on the site clearly exceeds the number of single-family units that could be built under RA-1 zoning (76 versus 26). The applicant should provide a traffic study to compare the likely traffic volume from this development to potential commercial development on the site. The complex would utilize two access points to 13 Mile Road.

- E. The Planned Unit Development must meet, as a minimum, one 8 objectives as listed in the Ordinance and on on pages 3-4 of the April 11 memorandum. The applicants believe they have met 5 of the objectives:
- i. To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.

The applicant notes that the attached concept plans include a substantial buffer to the neighboring subdivision. Rear yard buffers on the concept plan are generally 70 feet, with one ranch building at 60 feet. There has also been conversation regarding a conservation easement.

- iii. To accept dedication or set aside open space areas in perpetuity.

The applicant proposes that the buffer area along the southern property line will be dedicated as an open space preservation area in perpetuity.

- vi. To promote the goals and objectives of the Master Plan for Land Use.

The applicant provided responses citing the Master Plan. However, the goals and policies listed in the Applicant's response were specific to the West Side of Orchard Lake and South of Thirteen Mile Study Area, which does not contain the subject site.

- vii. To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.



The applicant's response cites the southern perimeter setback for the provision of open space. In addition, the application notes the PUD will result in a unique townhouse development capable of producing an attractive for-sale community.

viii. To bring about redevelopment of sites where an orderly change of use is determined to be desirable.

The applicant's narrative also addresses this criterion.

F. The PUD shall not be allowed solely as a means of increasing density or as a substitute for a variance request. Such objectives should be pursued through the normal zoning process by requesting a zoning change or variance.

An increase in density over current zoning is sought by the applicant. Given that the proposed use is not permitted in the underlying district (attached townhomes), it appears that the request is not made solely to avoid a variance.

Regarding the conceptual site plan and use:

- The plan proposes 76 total units in 17 buildings; 40 two-story townhome units are proposed to be for-sale units, each including three bedrooms; a room count was not specified for the 36 ranch units. Access to the site would be from 13 Mile.
- The proposed density is not possible to determine without bedroom counts for the ranch units, though it appears that the full project would be in line with maximum permitted density in the RC-1 district. Under RA-1 zoning, the maximum number of units available is 26.

The applicants affirmed the density will be less than the maximum allowed for the RC-1 district.

- The applicant is seeking relief from the height limit of the underlying RA-1 district to permit a building height of 41 feet rather than the permitted 30'.
- The proposed parking is consistent with the requirements for 3-bedroom multi-family units.
- Concept plans do not show pedestrian circulation through the site; this, among other items, will be a point of discussion at final PUD if this plan is qualified.
- An area designated as recreation/open space should be provided as a part of the schematic landscape plan required at final PUD determination.

In summary, relief sought from ordinance standards includes:

- a. Permit multi-family at RC-1 density.
- b. Permit attached units.

It is possible the plan could be achieved under RC-1 zoning.

Planning Commission discussion and action

Commissioner Mantey said that for him the most important objective for a PUD at this location is to permanently preserve open space and/or natural features. A buffer is a permanent preservation; it is not a setback.

**MOTION by Brickner, support by Aspinall, to make a preliminary finding that PUD 1, 2024, dated March 19th, 2024, submitted by Schafer Development LLC, qualifies for the Planned**

**Unit Development Option under Section 34-3.20.2.A through D. of the Zoning Chapter. It is further determined that the proposal meets at least one of the objectives as outlined in Section 34-3.20.2.E.i. through viii. and that it be made clear to the applicant that final granting of the PUD plan and contract requires approval by City Council, after recommendation by the Planning Commission, with the following finding and condition:**

- 1. The proposed plan preliminarily meets the following qualification standards of Section 34-3-20-2.E.i through viii.: Standards i, iii, vii, viii**
- 2. The applicant include as part of their plans all the recommendations from the Giffels Webster review memorandum dated April 11, 2024.**

**Motion passed unanimously by voice vote.**

**E. AMEND PUD 1, 2021, INCLUDING REVISED SITE PLAN 54-2-2021**

LOCATION: 31525 Twelve Mile Road  
PARCEL I.D.: 22-23-15-201-270  
PROPOSAL: Conversion of hotel building into independent living facility in ES, Expressway Service zoning district  
ACTION REQUESTED: Set for Public Hearing  
APPLICANT: Farmington Hills Real Estate, LLC  
OWNER: Farmington Hills Real Estate, LLC

Douglas Boehm, Comfort Care Senior Living, was present on behalf of this application for a PUD Amendment. Mr. Boehm made the following points:

- The original PUD was approved in December 2021. They were currently in the construction phase, and hope to be finished by summer 2024.
- The requested amendment would be to allow all the units to be independent living. The prior approval was for a combination of assisted living, memory care, and independent living.
- A new cover sheet had been submitted just prior to tonight's meeting. The updated cover sheet shows the breakdown of each unit type on each floor of the facility. The number of rooms, footprint, and parking have not changed.
- The reason the PUD Amendment is necessary is because the project is allowed under an R-2 building permit, but assisted living and memory care are not allowed in the R-2 district. Those uses are allowed in the R-3 District. The recommendation of City Council was to redo the application to the R-3 use, or ask for the PUD to be amended to remove assisted living and memory care, which is what the applicants have done. Assisted living services and memory care can still be provided on site by contracted home care companies, hospice company, etc., to people living in their independent living apartments.

Planning Commission discussion and action:

In response to a question, City Attorney Schultz explained that this change constituted a change in use from what was originally approved, and therefore was a major change to the PUD.

In response to questions, the applicants explained that they were licensed and inspected by the State; they could not re-institute assisted living and memory without first coming back to the Planning Commission, and also seeking approval from the State.

Chair Trafelet pointed out the long list of deficiencies listed in the Fire Marshal's April 4, 2024 memorandum. This building had wood construction, and the Fire Marshal's concerns must be resolved. Some of the concerns had been called out for some time, dating from 2021.

Mr. Boehm affirmed that they would resolve all Fire Marshal concerns.

**MOTION by Mantey, support by Stimson, that proposed amendment to PUD 1, 2021, including Site Plan 54-2-2021, submitted by Farmington Hills Real Estate, LLC, dated March 25th, 2024, be set for public hearing for the Planning Commission's next available regular meeting agenda.**

**Motion passed unanimously by voice vote.**

**APPROVAL OF MINUTES**

**March 21, 2024, Special Meeting, and March 21, 2024  
Regular Meeting**

**MOTION by Varga, support by Brickner, to approve the March 21, 2024 Special Meeting minutes, and March 21, 2024 Regular Meeting minutes as submitted.**

**Motion carried unanimously by voice vote.**

**PUBLIC COMMENT**

None.

**COMMISSIONER/STAFF COMMENTS**

Chair Trafelet thanked staff for their work on the Master Plan, and for the good work on providing support for this evening's long agenda.

**ADJOURNMENT**

**Motion by Trafelet, support by Aspinall, to adjourn the meeting.**

**Motion carried unanimously by voice vote.**

The meeting was adjourned at 9:33pm.

Respectfully Submitted,  
Kristen Aspinall  
Planning Commission Secretary

/cem