AGENDA

PLANNING COMMISSION PUBLIC HEARING/REGULAR MEETING CITY OF FARMINGTON HILLS OCTOBER 17, 2024 @ 7:30 P.M.

FARMINGTON HILLS CITY HALL – CITY COUNCIL CHAMBER 31555 W. ELEVEN MILE ROAD, FARMINGTON HILLS, MICHIGAN 48336

Cable TV: Spectrum – Channel 203; AT&T – Channel 99 **YouTube Channel:** https://www.youtube.com/user/FHChannel8

www.fhgov.com (248) 871-2540

- 1. Call Meeting to Order
- 2. Roll Call
- 3. Approval of Agenda

4. Public Hearing

A. **ZONING TEXT AMENDMENT 2, 2024**

CHAPTER OF CODE: 34, Zoning Ordinance

PROPOSED AMENDMENT: Amend Zoning Ordinance to reclassify various principal

permitted and special approval uses within the B-3, General Business District, and LI-1, Light Industrial District, and to add

and remove various use standards Recommendation to City Council

ACTION REQUESTED: Recommendation to City Council SECTIONS: 34-3.1.25, 34-3.1.29, 34-4.28, 34-4.31, 34-4.35, 34-4.36,

and 34-4.40

5. Regular Meeting

A. AMEND PLANNED UNIT DEVELOPMENT (PUD) 1, 2015

LOCATION: 28050 Grand Rive Avenue

PARCEL I.D.: 22-23-36-404-010

PROPOSAL: Construction of freestanding and wall signs within B-3, General

Business District, and SP-2, Special Purpose District

ACTION REQUESTED: Schedule for Public Hearing APPLICANT: Signworks of Michigan, Inc.

OWNER: Robert Mount

B. PUD PLAN 2, 2024, INCLUDING SITE PLAN 56-8-2024

LOCATION: South side of Thirteen Mile Road, just west of Middlebelt Road
PARCEL I.D.: 22-23-11-201-001, -002, -004, -005, -006, -020, and -021
PROPOSAL: Construction of multiple family developer within PA 1 - On

PROPOSAL: Construction of multiple-family dwellings within RA-1, One

Family Residential District

ACTION REQUESTED: Schedule for Public Hearing

APPLICANT: Steven Schafer

OWNER: Detroit Baptist Manor and MOBI Investments

C. PUD QUALIFICATION 3, 2024

LOCATION: 29150 Twelve Mile Road PARCEL I.D.: 22-23-12-376-035

PROPOSAL: Construction of multiple-family dwellings within RA-1A, One

Family Residential District

ACTION REQUESTED: Qualification of PUD APPLICANT: Schafer Development, LLC

OWNER: Mike H. Yousif

D. SITE PLAN 53-7-2024

LOCATION: 28975 Grand River Avenue

PARCEL I.D.: 22-23-36-306-011

PROPOSAL: Establishment of outdoor space for sale or rental of new or used

motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products within B-3, General Business

District

ACTION REQUESTED: Site Plan approval APPLICANT: Rawad Haddad OWNER: Papy, Inc.

E. SITE PLAN 59-9-2024

LOCATION: 24300 Drake Road PARCEL I.D.: 22-23-21-351-032

PROPOSAL: Construction of vehicle wash within B-3, General Business

District

ACTION REQUESTED: Site Plan approval

APPLICANT: BWM Kar Wash, LLC (Todd Gesund)

OWNER: Boxoffice Theaters, LLC

F. <u>LOT SPLIT 4, 2024 (FINAL)</u>

LOCATION: South side of Kentfield Avenue, just east of Tuck Road

PARCEL I.D.: 22-23-35-402-056 and 057

PROPOSAL: Split two (2) parcels into three (3) parcels within RA-3, One

Family Residential District

ACTION REQUESTED: Lot Split approval (final)

APPLICANT: Terry Sever

OWNER: Crosswinds Court, Inc.

6. Approval of Minutes Approval of September 16, 2024, City Council-

Planning Commission Joint Meeting, and September 19,

2024, Regular Meeting

7. Public Comment

8. Commissioner/Staff Comments

9. Adjournment

Respectfully Submitted,

Kristen Aspinall, Planning Commission Secretary

Staff Contact:

Erik Perdonik, AICP

City Planner

Planning and Community Development Department

(248) 871-2540

eperdonik@fhgov.com

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at (248) 871-2410 at least two (2) business days prior to the meeting, wherein arrangements/accommodations will be made. Thank you.



DATE:

October 11, 2024

TO:

Planning Commission

FROM:

Erik Perdonik, AICP, City Planner

SUBJECT:

Draft Zoning Text Amendment ("ZTA") 2, 2024 - Public Hearing

OVERVIEW OF PROPOSED DRAFT ZTA:

First, the draft ZTA would amend Sections 34-3.1.25.B – Principal Permitted Uses, and 34-3.1.25.C – Special Approval Uses, to make drive-through or drive-in restaurants, gasoline service stations, automobile repair, veterinary hospitals or commercial kennels, and vehicle wash land uses, which are presently *principal permitted uses*, *special approval uses* within the B-3 District. Gasoline service stations and vehicle wash land uses, in particular, would be limited to the redevelopment of existing sites.

Second, the draft ZTA would amend the abovementioned Sections to include cigar bars or lounges as a principal permitted use for the first time, and to make coin-operated amusement device arcades, billiard parlors or other similar indoor recreation uses and establishments with coin-operated amusement devices, which are presently *special approval uses*, *principal permitted uses*.

Third, the draft ZTA would amend Sections 34-3.1.29.B – Principal Permitted Uses, and 34-3.1.29.C – Special Approval Uses, to make vehicle wash and indoor recreation facilities over 5,000 square feet in gross leasable area, which are presently *special approval uses*, *principal permitted uses* within the LI-1 District.

Lastly, the draft ZTA would comprehensively amend the *use standards* associated with drive-through or drive-in restaurants (Section 34-4.35); gasoline service stations (34-4.28); automobile repair (34-4.31); vehicle wash (34-4.40); and outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products (34-4.36) to add several new *use standards* and remove several existing ones.

ATTACHMENTS:

- Draft Sec. 34-3.1.25 B-3 General Business District
- Draft Sec. 34-3.1.29 LI-1 Light Industrial District
- Draft Sec. 34-4.28 Gasoline Service Stations
- Draft Sec. 34-4.31 Automobile Repair
- Draft Sec. 34-4.35 Drive-In Restaurants

- Draft Sec. 34-4.36 Outdoor Space for Sale or Rental of New or Used Motor Vehicles, Trailers, Mobile Homes, Boats, Recreation Vehicles and Other Similar Products
- Draft Sec. 34-4.40 Vehicle Wash

34-3.1.25 B-3 GENERAL BUSINESS DISTRICT

A. INTENT

The B-3 General Business District is designed to provide sites for diversified business types that might be incompatible with the pedestrian movement within the B-1 Local Business District or B-2 Community Business District.

B. PRINCIPAL PERMITTED USES

The following uses are permitted subject to Section 34-3.11:

- Banks, credit unions, savings and loan associations and similar uses with drive-in facilities as an accessory use only
- ii. Businesses in the character of a drive-in or open front store § 34-4.37
- iii. Business schools and colleges or private schools operated for profit
- iv. Bus passenger stations § 34-4.38
- V. Cellular towers and cellular antennae § 34-4.24
- vi. Churches
- vii. Cigar bars or lounges
- viii. Coin-operated amusement device arcades, billiard parlors or other similar indoor recreation uses § 34-4.19.4
- ix. Commercial outdoor recreational space § 34-4.39
- x. Dance halls or catering halls when conducted within a completely enclosed building
- xi. Data processing or computer centers
- xiii. Establishments with coin-operated amusement devices § 34-4.33

 Gasoline service stations § 34-4.28

- xiv. Indoor health and fitness and instructional dance studios § 34-4.58.1
- xv. Indoor recreation facilities § 34-4.19
- xvi. Laundry, drycleaning establishments, or pickup-stations, dealing directly with the consumer § 34-4.25
- xvii. Lawnmower sales or service
- xviii. Medical offices or clinics
- xix. Mortuary establishments
- xx. Motel § 34-4.34
- xxi. New or used motor vehicle salesroom, showroom or office when the use is carried on within a building and open-air display of vehicles is accessory
- xxii. Nursery schools, day nurseries, and daycare centers
- xxiii. Office buildings for any of the following occupations: executive, administrative, professional, accounting, writing, clerical, stenographic, drafting or sales
- xxiv. Other commercial uses of a similar and no more objectionable character
- xxv. Outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products § 34-4.36
- xxvi. Personal service establishments that perform services on the premises
- xxvii. Private clubs or lodge halls
- xxviii. Post offices and similar governmental office buildings, serving persons living in the adjacent residential area

- xxix. Public buildings, public utility buildings, telephone exchange buildings, electric transformer stations and substations without storage yards; gas regulator stations with service yards, but without storage yards; water and sewage pumping stations
- xxx. Restaurants, including fast food or carryout restaurants
- xxxi. Retail businesses § 34-4.29
- xxxii. Retail sales of plant materials, lawn furniture, playground equipment and other house or garden supplies
- xxxiii. Theaters, assembly halls, concert halls or similar places of assembly § 34-4.44
- xxxiv. Tire, battery and accessory sales
- xxxv. Accessory buildings and uses customarily incidental to any of the above uses
 - C. SPECIAL APPROVAL USES

The following uses are permitted subject to Section 34-3.11:

- i. Automobile repair § 34-4.31
- ii. Drive-in restaurants § 34-4.35
- iii. Gasoline service stations § 34-4.28
- iv. Vehicle wash § 34-4.40
- v. Veterinary hospitals or commercial kennels § 34-4.26
- D. ACCESSORY USES
- i. Electric vehicle infrastructure § 34-4.55
- ii. Fabrication, repair, and processing of goods § 34-4.29
- iii. Outdoor space for seating areas accessory to a restaurant § 34-4.32

34-3.1.29 LI-1 LIGHT INDUSTRIAL

A. INTENT

The LI-1 Light Industrial District is intended to accommodate wholesale activities, warehouses and industrial operations whose external physical effects, in the form of nuisance factors, are restricted to the area of the District and in no manner affect in a detrimental way any of the surrounding districts. The LI-1 District is structured to permit, along with any specified uses, the manufacturing, compounding, processing, packaging, assembly or treatment of finished or semifinished products from previously prepared material. It is further intended that the processing or raw material for shipment in bulk form, to be used in an industrial operation at another location, not be permitted.

B. PRINCIPAL PERMITTED USES

The following uses are permitted subject to Section 34-3.14:

- i. The following uses are permitted subject to Section 34-4.46.1:
 - a. Automobile repair § 34-4.31
 - Laboratories-experimental, film or testing, except biological laboratories
 engaging in genetic research
 - c. Manufacturing
 - d. Warehouses, storage and transfer and electric and gas service buildings and yards, excluding gas treatment and gas pumping stations and water supply and sewage disposal plants and water and gas tanks and holders
- ii. Cellular towers and cellular antennae § 34-4.24
- iii. Commercial kennels

- iv. Farms
- v. Freestanding signs located within a freeway sign zone for purposes of Section 34-5.5.3.A.ix
- vi. Primary caregivers § 34-4.57
- vii. Storage facilities for building materials, sand, gravel, stone, lumber, open storage for construction contractor's equipment, and supplies § 34-4.47
- viii. Trade or industrial schools
- ix. Vehicle Wash § 34-4.40
- x. Reserved
- xi. The following uses are permitted subject to Sections 34-4.46.2 and 34-4.46.3:
 - a. Any service establishment or an office, showroom or workshop of an electrician, decorator, dressmaker, tailor, baker, printer or upholsterer; or an establishment doing radio or home appliance repair, photographic reproduction and similar service establishments that may include retail adjunct
 - b. Banks or credit unions, savings and loan associations
 - c. Bowling alleys
 - d. Commercial outdoor recreational space
 - e. Data processing or computer centers
 - f. Drive-in restaurants § 34-4.35
 - g. Gasoline service stations § 34-4.28

- h. Indoor recreation facilities not exceeding 5,000 square feet in gross leasable area § 34-4.19
- i. Laundry, drycleaning establishments or pickup-stations
- j. Lawnmower sales or service
- k. Medical offices or clinics
- l. New or used motor vehicle salesroom, showroom or office when the use is carried on within a building and open-air display of vehicles is accessory
- m. Office buildings for any of the following occupations: executive, administrative, professional, accounting, writing, clerical, stenographic, drafting or sales
- n. Other industrial uses of a similar and no more objectionable character
- o. Outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products § 34-4.36
- p. Personal service establishments that perform services on the premises
- q. Restaurants, including fast food or carryout restaurants
- r. Retail sales of plant materials not grown onsite and sales of lawn furniture,
 playground equipment and other home garden supplies
- xii. Accessory buildings and uses customarily incidental to any of the above uses

C. SPECIAL APPROVAL USES

The following uses are permitted subject to Section 34-3.14:

- i. Automobile or other machinery assembly plants § 34-4,48
- ii. Junkyards
- iii. Lumber and planing mills and lumber cutting and other finishing processes § 34-4.53
- iv. Metal plating, buffing, polishing, and the manufacturing, compounding, processing, packaging or treatment of solvents, surface coatings, degreasing/metal cleaning materials, pesticides (including storage), pharmaceuticals or chemicals § 34-4.50
- v. Other industrial uses of a similar and no more objectionable character § 34-4.51
- vi. Painting, varnishing and undercoating shops § 34-4.49
- D. ACCESSORY USES
- i. Electric vehicle infrastructure § 34-4.55
- ii. Outdoor space for seating areas accessory to a restaurant § 34-4.32

34-4.28 GASOLINE SERVICE STATIONS

- 1. Within all zoning districts within which the use is permitted:
 - A. The minimum lot area for gasoline service stations shall be fifteen-thousand (15,000) square feet;
 - B. Pump canopies shall be no closer than one-hundred (100) feet from any residentially-zoned and/or -used property unless such property is separated from the gasoline service station use by a major or secondary thoroughfare;
 - C. No more than one (1) driveway access shall be permitted per street frontage;
 - Vehicular access drives shall be located no closer than twenty-five (25) feet
 from the right-of-way of any intersecting street;
 - E. Parking areas and areas for vehicular circulation shall be located not less than
 ten (10) feet from any lot line;
 - F. All sides of the building shall incorporate a consistent architectural style, including horizontal or vertical design elements that have sufficient relief to create shadow lines, and the type of element (i.e. horizontal or vertical) shall be determined by the intended design aesthetic of the building;
 - G. The building shall have a minimum transparency of sixty (60) percent on any façade facing a pump island or the front lot line. Such transparency shall be measured based on the total wall area of the façade. False windows, spandrel glass or similar façade or architectural features shall not be counted towards the transparency requirement;

- Any canopy structure shall be designed and constructed in a manner that is architecturally consistent with the principal building;
- The parcel or zoning lot shall be separated from any public thoroughfare by a
 masonry wall a minimum of two (2) feet in height notwithstanding Section 345.14.5. Such wall shall be architecturally consistent with the principal
 building;
- J. Gas stations may be developed according to the following design standards that allow for the principal building to be closer to the street with the pump islands and canopy located behind the building. The standards of this Subsection J shall take precedence over any conflicting design or dimensional requirement contained elsewhere in this Ordinance:
 - The principal building shall be located not less than five (5) feet from the front lot line; and
 - ii. Any pump canopy shall be located to the rear of the principal building;
- K. The storage, sale, or rental of new or used cars, trucks, trailers and/or any other vehicles on the zoning lot is prohibited; and
- L. Up to fifty (50) percent of fueling positions may be considered toward fulfilling the parking requirement for the gasoline service station for purposes of 34-5.2.
- 2. Within the B-3 District, gasoline service stations shall be permitted only on a zoning lot that is being actively used and occupied as a lawfully-conforming gasoline service station on the effective date of the ordinance adding this Subsection 34-4.28.2.

- 3. Within the B-1 District, principal buildings shall have a minimum setback of one-hundred (100) feet from any residentially-zoned and/or -used property unless such property is separated from the gasoline service station use by a major or secondary thoroughfare.
- 4. Within the LI-1 District, off-street loading and unloading space with a dimension of at least ten (10) feet by fifty (50) feet shall be provided but may be located within any required yard notwithstanding Section 34-5.4.
- 5. Within the LI-1 and ES districts, vehicle washes and automobile repair may be permitted as an accessory use.
- 6. Within the B-1, B-3, and ES districts, off-street loading and unloading space shall be provided in the ratio of at least ten (10) square feet per front foot of building but may be located within any required yard notwithstanding Section 34-5.4.

34-4.31 AUTOMOBILE REPAIR

- 1. Within all zoning districts within which the use is permitted:
 - A. Principal buildings shall be located no closer than one-hundred (100) feet from any residentially-zoned and/or -used property unless such property is separated from the automobile repair use by a major or secondary thoroughfare;
 - B. All buildings shall be oriented such that bay doors and/or open bays face away from any public roads and/or residentially-zoned and/or -used property unless screened from such roads and/or property by a building;
 - C. The storage, sale or rental of new or used cars, trucks, trailers and/or any other vehicles on the zoning lot is prohibited;
 - D. Damaged vehicles or those awaiting repair may be stored outside of a building provided that the storage area is enclosed within a wall that complies with Section 34-5.15;
 - Outdoor storage of scrap, junk or dismantled cars or spare parts on the zoning lot is prohibited;
 - F. All lubrication equipment, automobile wash equipment, hoists and/or pits shall be enclosed entirely within a building; and
 - G. All repair work shall be carried out within an enclosed building.

Within the B-2 and B-3 districts, automobile repair shall be permitted only when developed as part of a larger planned shopping center designed to integrate the automobile repair within the site plan and architecture of the overall shopping center.
A building permit shall not be issued separately for the construction of any automobile repair within the B-2 and B-3 districts.

34-4.35 DRIVE-IN RESTAURANTS (INCLUDING DRIVE-THROUGH WINDOWS)

- 1. Within the B-3 District:
 - A. Any space for the stacking of vehicles shall be located no closer than thirty-five (35) feet from any residentially-zoned and/or -used property;
 - B. A minimum 1,100-square-foot area with indoor seating for at least twenty (20) people shall be provided; and
 - C. An outdoor space for seating accessory to the drive-in restaurant comprised of at least eight (8) seats shall be provided but Section 34-4.32 shall not apply to such space.
- 2. Within the B-3 and LI-1 districts, vehicular access drives shall be located no closer than sixty (60) feet from the right-of-way of any intersecting street.
- 3. Drive-in restaurants shall comply with Section 34-5.2.12.

34-4.36 OUTDOOR SPACE FOR SALE OR RENTAL OF NEW OR USED MOTOR VEHICLES, TRAILERS, MOBILE HOMES, BOATS, RECREATIONAL VEHICLES AND OTHER SIMILAR PRODUCTS

- 1. Within the B-3 and LI-1 districts:
 - A. Areas for display of vehicles shall meet the setback requirements applicable to principal buildings within the zoning district within which the use is located; and
 - B. Vehicular access drives to the outdoor sales area shall be located not less than sixty (60) feet from the intersection of any two (2) streets.
- 2. Within the B-3 District, and except as to zoning lots that are being actively used and occupied as a lawfully-conforming outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products on the effective date of the ordinance adding this Subsection 34-4.36.2:
 - A. The use shall be located on a lot that has all of its public street frontage for purposes of Section 34-5.11 on Grand River Avenue; and
 - B. The lot shall have a minimum frontage of two-hundred (200) feet on Grand River Avenue.

34-4.40 VEHICLE WASH

- 1. Within all zoning districts within which the use is permitted:
 - A. The minimum lot area for vehicle washes shall be fifteen-thousand (15,000) square feet;
 - B. All buildings, vehicular stacking space, vacuuming or other outside use area, except employee parking, shall be located no closer than one-hundred (100) feet from a residentially-zoned and/or -used property unless such property is separated from the vehicle wash use by a major or secondary thoroughfare;
 - C. Vehicular access drives shall be located no closer than two-hundred (200) feet from the intersection of any two (2) streets;
 - One traffic lane shall be provided as means of exiting the vehicle wash queue
 without having to enter the vehicle wash building;
 - F. All buildings shall be oriented such that bay doors and/or open bays face away from any public roads and/or residentially-zoned and/or -used property unless screened from such roads and/or property by a building;
 - G. Vacuuming and/or drying areas may be located outside the building but only within a rear yard;
 - H. All vehicles required to wait for access to the vehicle wash shall be provided space outside of any public right-of-way; and
 - I. All washing facilities shall be within a completely enclosed building.

2. Within the B-3 district, vehicle washes shall be permitted only on a zoning lot that is being actively used and occupied as a lawfully-conforming vehicle wash on the effective date of the ordinance adding this Subsection 34-4.40.2.

City of Farmington Hills

Zoning & Code Enforcement

31555 W. Eleven Mile Rd.,

Farmington Hills, MI 48336

September 18th, 2024

To whom it may concern,

On behalf of Signworks of Michigan, Inc. and Corewell Health, I am submitting this letter with an application for a PUD Amendment to the Corewell Health Farmington Hills Hospital located at 28050 Grand River Ave., Farmington Hills, MI. As required by the city, we are also providing survey data of every sign located within the property lines of this hospital campus. Incidental and directional signage is included in this survey without noted sizes, and "bona fide" signage has noted sizes, per the specific request of the City Planner, Erik Perdonik. This information can be accessed through this link: CH053 058 059 077 West Farmington Hill 28050 28080 Grand River Reco Book EXTERIOR. We have been informed that there is no previous record of the existing signs on-site, and that this PUD Amendment will legitimize the existence of these signs in city records. In addition to providing this information, we are requesting an amendment specifically for two signs on this property. Contained in this letter are descriptions of these signs and the reasoning for our request. The reasoning for our requests will be similar, if not some of the same, as the reasoning that was provided in our Special Exception applications. This is because our reasoning and intentions for the health and wellness of the general public still applies. The 2 signs discussed in this letter are referenced as E-01 and E-08. Applications for these signs were originally submitted in May of this year.

I. Ground Sign #E-01

The first sign that we are pursuing in this amendment is the monument sign at the entrance of this property. In the provided packet, this sign can be found on page 10 and is

referred to as Sign E-01. The existing sign is 128 inches tall and 84 inches wide, or 10'8"h x 7'w. Its total area is 74.67 square feet. We are proposing to remove the existing sign, hydrovac the hole, and install a new foundation with the monument sign in the new foundation. We are proposing that the new sign be 144 inches tall and 72 inches wide, or 12'h x 6'w. The proposed sign is 72 square feet in area, keeping the size consistent, but slightly smaller, than the existing sign with the main modification being its height. We believe that this size is appropriate for the size of the hospital campus, which is roughly 166,240 square miles, or 1.8 million square feet. We also believe that this size is appropriate due to the importance of the campus and the services that it provides to the public. Our main interest is to promote health and general welfare with visual communications, so we do want to promote visibility as much as possible.

This sign's height is proposed to be over the maximum allowable height for freestanding signs in the B-3 district because it is significantly less visible when it is the same height as the neighboring sign for The House of Botsford Apartments & Townhomes. This sign is located on the right side of the hospital entrance driveway, making this a shared drive between residents, patients, hospital employees, and first responders. The House of Botsford sign appears to be at least 8 feet tall by 8 feet wide. The Corewell entrance sign in question has to compete with the size, message, and position of the House of Botsford sign. As we can see from the Google Maps history in the attached pictures, it is clear that it is not visually appealing nor efficient for both of these entrance signs to be 8 feet tall by 8 feet wide.

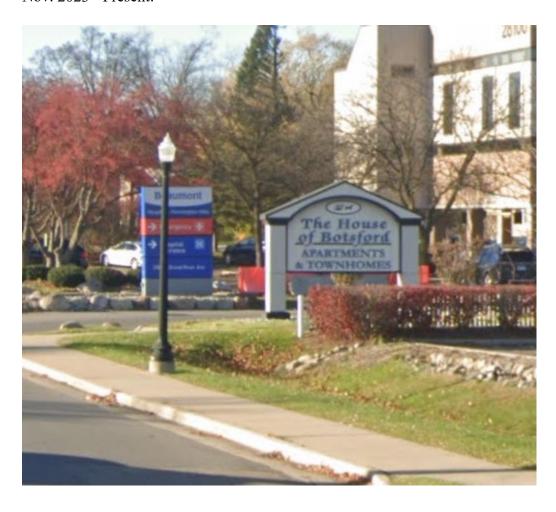
Since no one can impose upon The House of Botsford to replace their sign with something smaller, our proposed solution is to make the Corewell sign taller and more narrow. Not only do the signs share an entrance, they are both on a one-way street, making it unnecessarily difficult to turn around if someone misses the entrance. The sign that we are proposing is 12 feet tall so that the top of the sign can be easily seen from a distance in traffic. This is important because the top 4 feet of the sign visually communicate the hospital name and point drivers in the direction of the emergency area. There is also a light pole in front of the sign, which challenges the sign's visibility from the road. The sign's width is proposed to be reduced from 7 feet wide to 6 feet wide as to not be a traffic obstruction. As you will see from the Google Maps history from when this sign was 8 feet wide by 8 feet tall, this creates a visual obstruction for vehicles exiting the campus by making it difficult to see oncoming traffic.

We believe that this size difference is important for the use and rights to access both properties safely. We understand that size limitations for signage are meant to minimize visual distractions and obstacles for drivers. However, we are requesting this exception because we believe that the proposed sign is an improvement to the property, to the district, and to the public rather than an obstruction. This sign will also adhere to existing setback requirements, and will therefore be compliant in every other aspect required by the zoning ordinance. We would like to emphasize our understanding and respect for the city zoning ordinance as it intends to promote the safety and aesthetic appeal of the City of Farmington Hills. It is our intention to maintain that spirit in all aspects of our involvement.

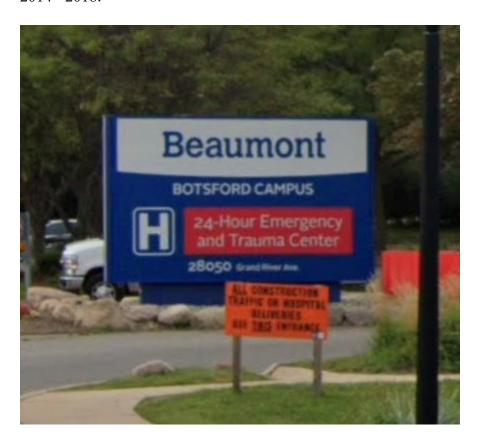
City of Farmington Hills Zoning Map, showing the property in question.



Nov. 2023 - Present:



2014 - 2018:



2007 - 2013



II. Wall Sign #E-08

The second sign that we would like to improve on this property is the first visible wall sign at the ground-level upon entering the hospital campus. This sign is located on the South elevation of the main building. As visitors drive approximately 680 feet in from the main entrance driveway, visitors see directional signage on their left that leads them to a Stop sign. Upon pausing at the Stop sign, drivers see a 73.33 square feet set of illuminated channel letters that read only the word "Beaumont." We are proposing that we replace this sign with a new channel letter set that reads "Corewell Health Farmington Hills Hospital." The survey data and proposed details for this size are on page 18 of the survey packet. We have been informed that the city calculates the area of this sign as 40.15 square feet. This is 15.3585 square feet over the 25 square feet allowed for the SP-2 Zoning District. The calculable area of the proposed sign is therefore nearly 50% less than the existing sign.

As we know, this parcel is positioned behind The House of Botsford Apartments & Townhomes properties, resulting in the long driveway from the road to the hospital buildings. The main hospital building is not visible from Grand River Avenue. We would like to reiterate that the intention of all signage is to be visibly helpful to the public. Upon entering the hospital campus, drivers must pass the large residential area, wondering if they are in the right place. This sign communicates to drivers that they have fully entered the hospital campus and that they have found the main building. The layout of these properties are pre-existing and cannot reasonably be changed, so we must work around them.

Please also consider that the sign for this building only has one reasonable place to be installed where it will be the most visible and structurally sound. This building is at least 5 stories high, and mostly constructed from glass and metal. Even if the sign were 25 square feet in area, this building does not allow for a sign to be installed at a standard elevation in a way that is aesthetically pleasing, visible, or structurally sound. The most ideal place for this sign is where it currently exists. The signage then has to be larger than 25 square feet so it is visible even if cars are parked in front of it. As you can see from the below image, the sign would not be visible if cars were parked in front of it and if it were only 25 square feet in area.

We have been informed by the city that we are allowed "25 square feet of wall signage and 25 square feet of freestanding signage for the entire campus, per the Zoning Ordinance." We

believe that this accommodation is not physically possible due to the undeniable need for signage on any hospital campus, especially one of this size. This parcel contains 5 different buildings, 1 being a parking garage, so 25 square feet for the entire campus cannot be reasonably distributed between each building in a way that effectively communicates information. This campus contains signs that indicate the name of each building, main entrances, employee-only entrances, outpatient services, shipping areas, surgery discharge, emergency areas, and more. This signage has to be visible from a moving vehicle from multiple distances to avoid complications for the staff and visitors.

We are aware that this building does have wall signage the very top of the building, but these signs are not visible from the road due to their orientation, size, and height. These back-to-back signs are for aerial traffic, not for normal vehicle traffic. These two signs, E-09 and E-10, were approved to be refaced in May of 2024, and they have since been refaced to reflect the "Corewell Health" branding. However, their orientation does not allow visibility from the ground, and it is not common practice to look directly up to that height while driving. It is especially uncommon to seek visual information at that height when you are actively looking for something at ground-level such as directional signage, a parking lot, an entrance, a wall sign, etc. Therefore, the E-08 wall sign has to be installed at the proposed elevation and it must be clearly visible from said elevation. Lastly, the sign then has to be the proposed size because there will often be cars parked in front of it, and drivers need to be able to see over/around the cars.

We consider this wall sign an improvement to the property and the zone because it communicates the use of the building more accurately than the existing channel letter set. The existing channel letter set only reads "Beaumont," whereas the proposed signage effectively rebrands the building according to the new ownership. More importantly, this sign change better communicates that this building is the main hospital for Farmington Hills. We do not foresee any way that this sign could be materially detrimental to public welfare because we are replacing a structure that already exists in this exact location.

III. Conclusion

We appreciate the opportunity to present this letter with our PUD Amendment application and related documents. We hope the Planning Commission agrees that the signage needs for this hospital do not – and cannot – be compliant with the current allowance of 25 square feet total for

all wall signs and separately for all freestanding signs. A campus of this size and importance requires clear visual communication to ensure safety, and that is our goal with all signage that we install. We also aim to be compliant with the ordinance of any municipality in Michigan and generally try to avoid pursuing variances or amendments. However, we are pursuing an amendment in this instance for the reasons described in this letter. On behalf of Signworks of Michigan, Inc. and Corewell Health, we thank you for your time and attention.

Sincerely,
Claire McCready, Project Manager

Signworks of Michigan, Inc.

Existing Conditions as of 2021:



11 July 2024

EXTERIOR PACKAGE | Version 5.0



Corewell Health

Beaumont Hospital - Farmington Hills, Ziegler Administration & Education Bldg., Bh-Fh Professional North, Beaumont Hospital Fh Child Care Center

28050 and 28080 Grand River

Farmington Hills, MI 48336

DISCLAIMER:

Confidential — do not distribute.

Renderings show design intent only.

All sign messaging to be confirmed by client.

Technical survey is required prior to sign manufacturing.

measurement, illumination and make good requirements.

Sign vendor to verify and confirm all sign details including placement,

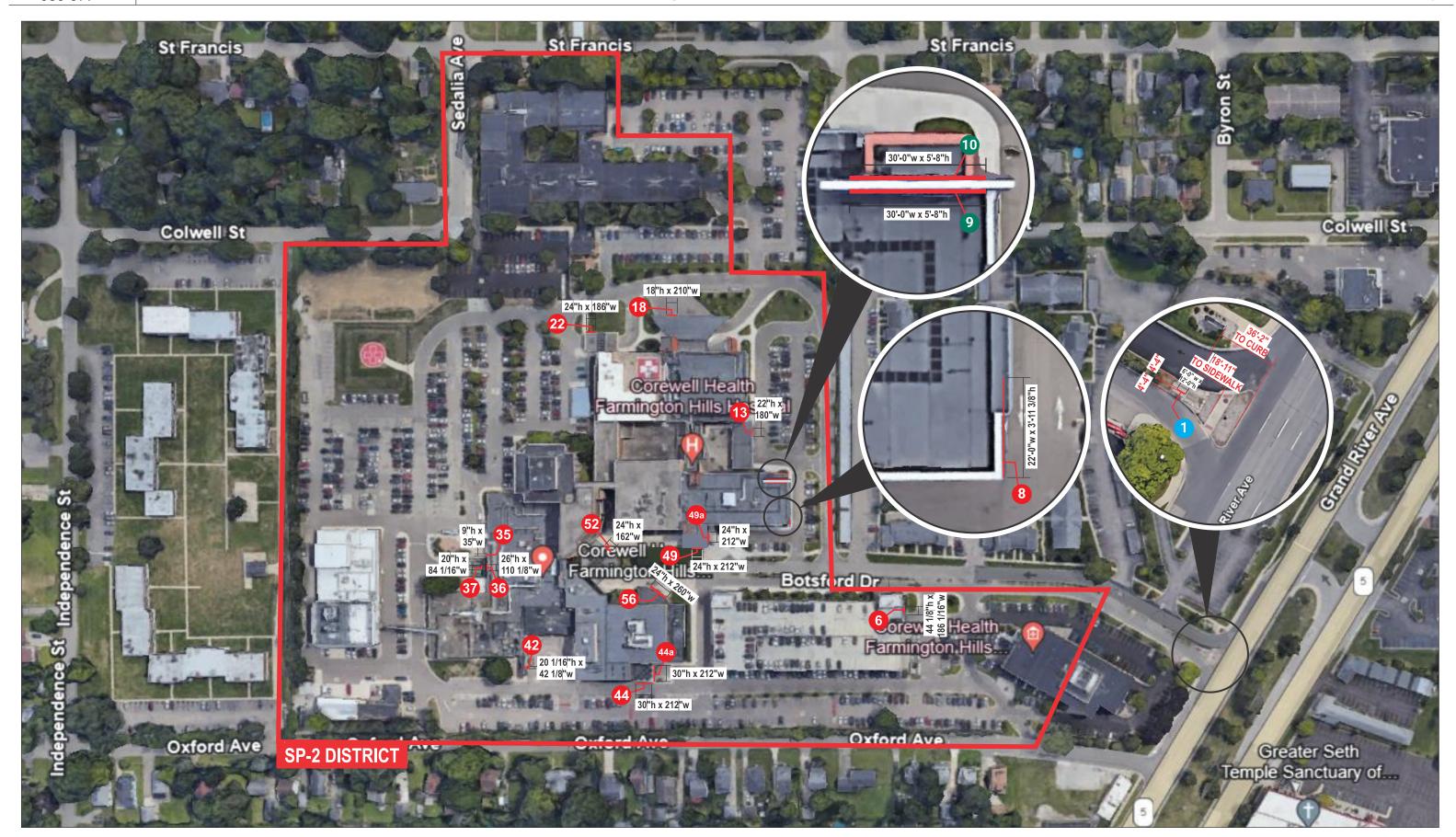
Permitting and variance requirements to be completed by sign vendor.

Prepared By



28050 and 28080 Grand River, Farmington Hills, MI 48336

Zoning



SITE:

CH053 058 059 077

Signage Recommendation

E-01

Context 28050 Location: Near M

Near Main Street
(East & West Elevations)

Responsibility: Sign Vendor Permitting: May be Required

Recommendation Notes

Recommend the removal of the existing pylon sign & foundation.

Replace with new pylon sign & foundation.







Existing - Image 1

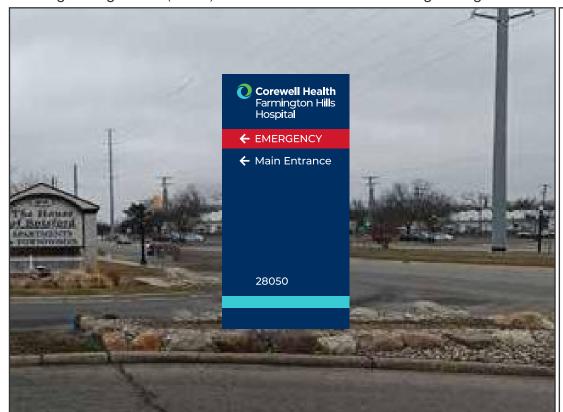
(Side A)

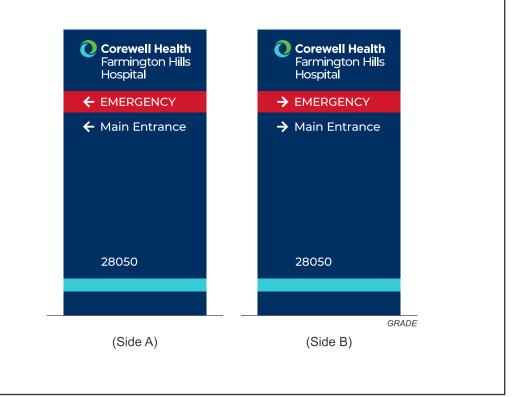
Existing - Image 2

(Zoomed View)

Existing - Image 3

age 3 (Side B)





Concept Rendering

Sign Artwork

Existing

Type: D/F Pylon

Quantity: 1

Illumination: Illuminated
Attachment: Ground Footing
Overall Height: 128" [10'-8"]
Overall Width: 84" [7'-0"]

Height: n/a Width: n/a

Sign Depth: 17.5" [1'-5 1/2"]

Mounting Height: n/a

Existing Notes: Emergency and Beaumont flex faces, everything else routed and backed.

Beaumont finish size: 83.5" x 17.5" x 5.5"h

Moe pad: 84" x 17.5" x 5.5"h

Centered on Island

434" boc from Grand River Ave.

Will require a variance.

Recommended Action

Action: Replace

Approach: Demo existing pylon sign, remove and scrap.

Hydrovac hole, add new foundation. Install

new pylon sign

Make Good: Level out and return soil to existing grade after

installation of sign.

New

Type: Pylon Quantity: 1

Illumination: Illuminated

Attachment: New Ground Footing Sign Code: COH-PY-B-E-72-144-I

Asset Height: 144" [12'-0"]
Asset Width: 72" [6'-0"]

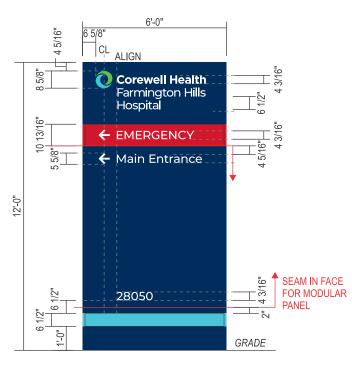
Mounting Height: In place of existing

E-01 - Specifications A

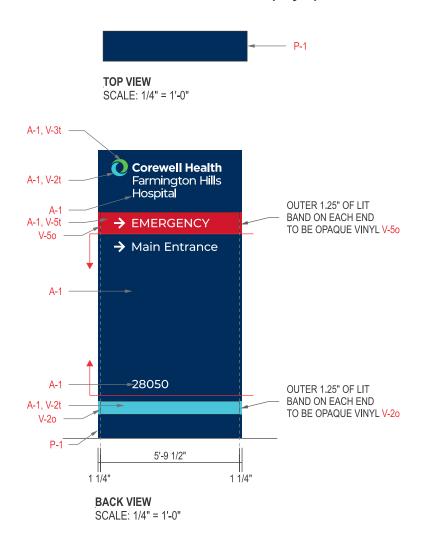
COH-PY-B-E-72-144-I D/F FACE LIT PYLON SIGN WITH EMERGENCY MESSAGING (Qty 1)

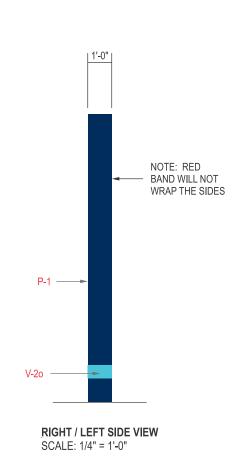
OVERALL SQUARE FOOTAGE: 72

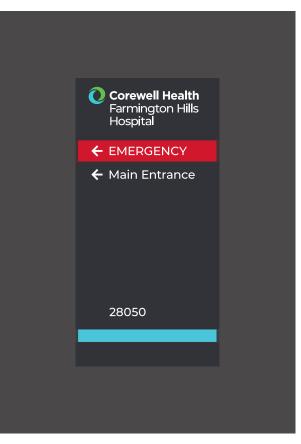
NOTE: COPY AND LOGO LOCKUP WILL VARY PER LOCATION, REFER TO SPECIFIC JOB FOR CORRECT LAYOUT



FRONT VIEW SCALE: 1/4" = 1'-0"







NIGHT VIEW SCALE: NTS

SPECIFICATIONS:

- 1. 1" X 2" X 1/8" ALUMINUM TUBE FRAME
- .125" ALUMINUM FACE ROUTED AND BACKED, PAN FORMED AND COUNTERSUNK SCREWED THROUGH RETURNS INTO 2" X 1" ALUMINUM FRAME, RETURNS PAINTED P-1
- 3. 3/16" #7328 WHITE ACRYLIC WITH FIRST SURFACE APPLIED VINYL A-1, V-2t, V-3t, V-5t
 MESSAGING REVERSE WEEDED, STUD MOUNT TO BACK SIDE OF .125" ALUMINUM FACE
 NOTE: THE EMERGENCY AND ACCENT BANDS ARE OPAQUE VINYL APPLIED TO THE OUTER
 1.25" OF FACE V-20, V-50
- 4. OPAQUE HORIZONTAL VINYL STRIPE APPLIED TO LEFT AND RIGHT SIDES OF CABINET TO ALIGN WITH BLUE BAND ON FRONT AND BACK V-20
- 5. AGILIGHT ULTRA 650 6500K WHITE LED'S ON ACM BAFFLE
- 6. LED POWER SUPPLY
- 7. ALUMINUM ANGLE SADDLE
- 8. LIFTING EYES (EYE BOLTS), MINIMUM OF 2
- 9. 4" X 4" X .25" ALUMINUM TUBE CENTER PIPE WITH AN AUGURED FOOTING SHIP WITH PIPE SET IN CABINET

NOTES

- HARDWARE PAINTED TO MATCH FACE
- 2. NO SEAMS ON FACE, OVERSIZED
- 3. CABINET INTERIOR PAINTED WHITE
- 4. PRIMARY ELECTRICAL TO BE IN CONDUIT

COLORS / FINISHES:

- P-1 MP TO MATCH PMS 295 C, SATIN FINISH

 V-20 DIGITALLY PRINTED TO MATCH PMS 319 C ON 3M CONTROLTAC IJ180MC-10 VINYL WITH 3M 8520 MATTE OVERLAMINATE
- V-2t DIGITALLY PRINTED TO MATCH PMS 311 C ON 3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE
 V-3t DIGITALLY PRINTED TO MATCH PMS 360 C ON 3M IJ3630-20
- TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE

 V-50 DIGITALLY PRINTED TO MATCH PMS 186C (DOUBLE STRIKE) ON
 3M WHITE BLOCKOUT FILM WITH 3M 8520 MATTE OVERLAMINATE
- V-5t DIGITALLY PRINTED TO MATCH PMS 186 C ON 3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE
- A-1 #7328 WHITE ACRYLIC

FONTS:

Montserrat Medium

0

E-01 - Specifications Continued A

COH-PY-B-72-144-I D/F FACE LIT PYLON SIGN (Qty 1)

OVERALL SQUARE FOOTAGE: 72

SPECIFICATIONS:

- 1. 1" X 2" X 1/8" ALUMINUM TUBE FRAME
- .125" ALUMINUM FACE ROUTED AND BACKED, PAN FORMED AND COUNTERSUNK SCREWED THROUGH RETURNS INTO 2" X 1" ALUMINUM FRAME, RETURNS PAINTED P-1
- 3. 3/16" #7328 WHITE ACRYLIC WITH FIRST SURFACE APPLIED VINYL A-1, V-2t, V-3t STUD MOUNT TO BACK SIDE OF .125" ALUMINUM FACE NNOTE: NON-LIT ACCENT BAND IS OPAQUE VINYL APPLIED TO THE OUTER 1.25" OF FACE TO AND WILL WRAP THE SIDES V-20
- OPAQUE HORIZONTAL VINYL STRIPE APPLIED TO LEFT AND RIGHT SIDES OF CABINET TO ALIGN WITH BLUE BAND ON FRONT AND BACK V-20
- AGILIGHT ULTRA 650 6500K WHITE LED'S ON ACM BAFFLE
- LED POWER SUPPLY
- ALUMINUM ANGLE SADDLE
- LIFTING EYES (EYE BOLTS), MINIMUM OF 2
- 9. 3" X 3" ALUMINUM TUBE CENTER PIPE WITH AN AUGURED FOOTING SHIP WITH PIPE SET IN CABINET

- 1. HARDWARE PAINTED TO MATCH FACE
- NO SEAMS ON FACE, OVERSIZED
- CABINET INTERIOR PAINTED WHITE
- 4. PRIMARY ELECTRICAL TO BE IN CONDUIT

COLORS / FINISHES:

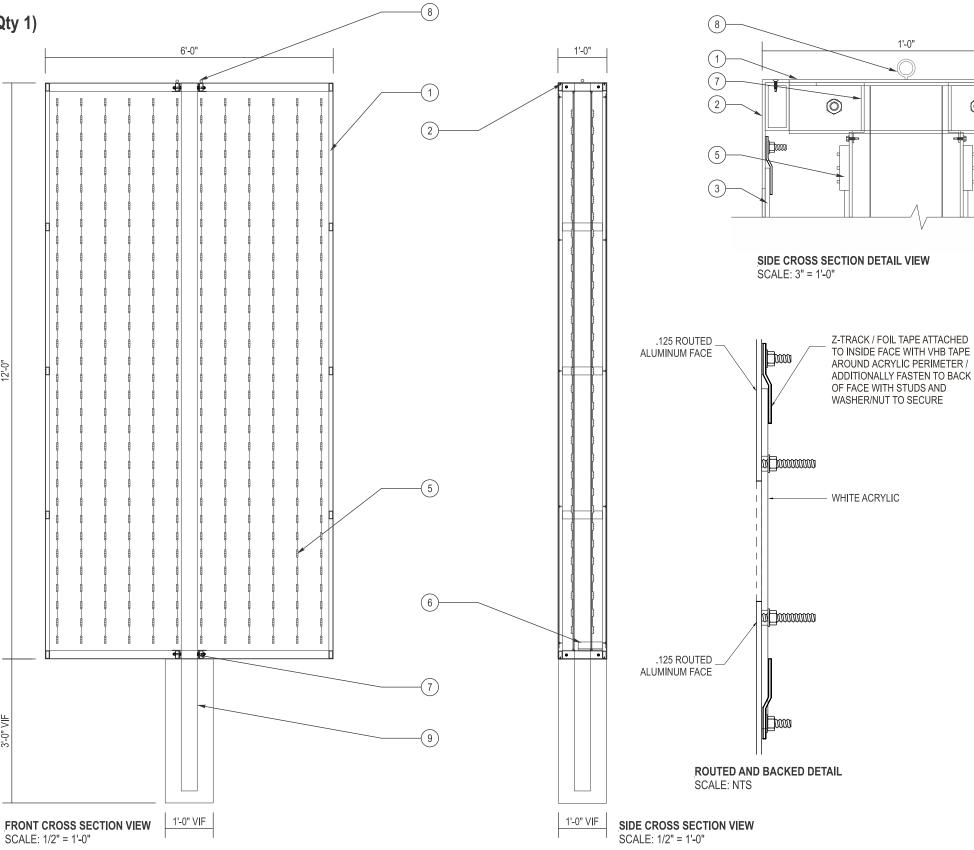
P-1 MP TO MATCH PMS 295 C, SATIN FINISH

-20 DIGITALLY PRINTED TO MATCH PMS 311C (DOUBLE STRIKE) ON 3M WHITE BLOCKOUT FILM WITH 3M 8520 MATTE OVERLAMINATE

-2t DIGITALLY PRINTED TO MATCH PMS 311C (DOUBLE STRIKE) ON 3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE

V-3t DIGITALLY PRINTED TO MATCH PMS 360C (SINGLE STRIKE) ON 3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE

A-1 #7328 WHITE ACRYLIC



FONTS:

SITE:

CH053 058 059 077

Signage Recommendation

E-08

Context 28050

Location: S. Side, Wall of Hospital

(South Elevation)

Responsibility: Sign Vendor Permitting: May be Required

Recommendation Notes

Recommend the removal of existing channel letters and replace with new as replacement.

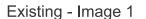
NOTE: Variance will be required.







Existing - Image 3



Existing - Image 2 (Zoomed View)





Concept Rendering Sign Artwork

Existing

Type: **Channel Letters**

Quantity:

Illumination: Illuminated

Attachment: Flush, Stud Mount Overall Height: Cap. Ht: 40" [3'-4"] Overall Width: 264" [22'-0"]

Height: n/a Width: n/a Sign Depth:

Mounting Height: Bottom of Letters: 96" [8'-0"] AFF

Existing Notes: Trim Cap Faces

Brick Wall

Will require a variance.

Recommended Action

Action: Replace

Sign vendor to remove existing channel letters. Approach:

Install new channel letters as replacement.

Any holes left in brick wall after sign removal Make Good:

to be filled with silicone, color to match.

New

Type: **Channel Letters**

Quantity:

Illumination: Illuminated Attachment: Stud Mount

COH-CL-B-185,3-29-1 Sign Code:

Asset Height: Logo: 29" [2'-5"] / OAH: 47.359" [3'-11 3/8"] Logo: 185.3" [15'-5 5/16"] / OAW: 264" [22'-0"] Asset Width:

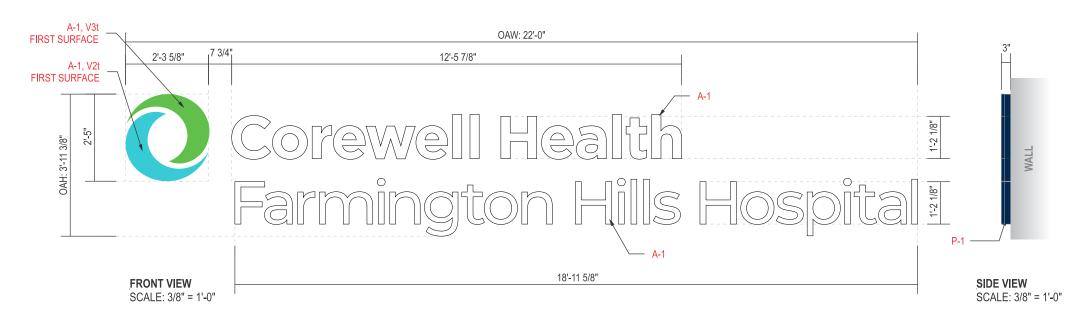
Mounting Height: In place of existing

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SITE: CH053 058 059 077

COH-CL-B-W-185.3-29-I **FACE LIT CHANNEL LETTERS (Qty 1)**

OVERALL SQUARE FOOTAGE: 86.9





NIGHT VIEW SCALE: NTS

SPECIFICATIONS:

- .040" X 3" PRE-FINISHED ALUMINUM COIL (WHITE INSIDE) (SEAMS IN CORNERS OR TOP) P-1
- 3MM ACM BACKS / LETTER LOCKED TO RETURNS
- AGILIGHT ULTRA 650 6500K WHITE LED'S
- 3/16" #7328 WHITE ACRYLIC WITH FIRST SURFACE APPLIED VINYL ON ICON A-1, V-2t, V-3t
- 1" STOCK BLUEPRE-FINISHED JEWELITE CHEMICALLY BONDED TO FACES (SEAMS AT THE TOP) P-1
- MOUNTING HARDWARE TO SUIT FIELD CONDITIONS
- #8 1/2" PAN HEAD SCREWS (NO MORE THAN 24" APART) P-1
- 1/4" DIA. WEEP HOLES W/ .063" DRAIN HOLE COVER (EXTERIOR APPLICATIONS ONLY)
- 9. 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX (IN MIDDLE OF LETTER UNLESS NOTED OTHERWISE) INSTALLER TO FOLLOW LOCAL CODE
- 10. LED POWER SUPPLY INSIDE POWER SUPPLY BOX
- 11. TOGGLE SWITCH MOUNTED TO POWER SUPPLY BOX
- 12. 2 FT WHIP LENGTH, IF PRIMARY ELECTRIC IS LOCATED WITHIN 6' OF THE POWER SUPPLY BOX. ELECTRIC TO BE CONNECTED BY INSTALLERS, INSTALLER TO FOLLOW LOCAL CODE
- 13. RIGID CONDUIT THROUGH WALL WITH 1/2" 1" STUB BEYOND INSIDE WALL 15' MIN. WHIP LENGTH FOR LOW VOLTAGE WIRE

COLORS / FINISHES:

P-1 MP TO MATCH PMS 295 C, SATIN FINISH

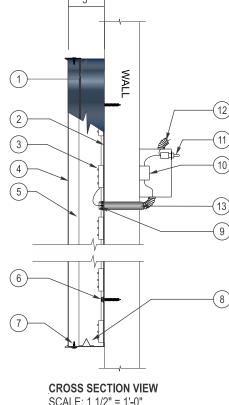
V-2t DIGITALLY PRINTED TO MATCH PMS 311C (DOUBLE STRIKE) ON

3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE

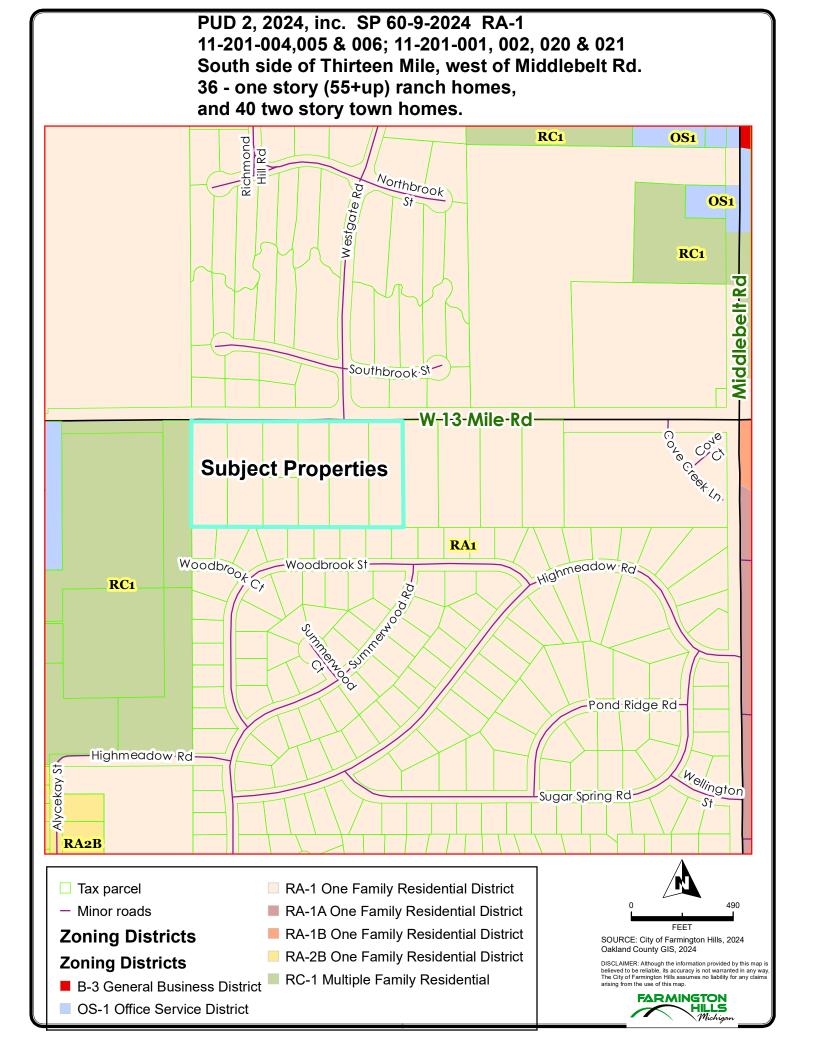
V-3t DIGITALLY PRINTED TO MATCH PMS 360C (SINGLE STRIKE) ON

3M IJ3630-20 TRANSLUCENT VINYL WITH 3M 8520 MATTE OVERLAMINATE

A-1 #7328 WHITE ACRYLIC



SCALE: 1 1/2" = 1'-0"



PUD 2, 2024, inc. SP 60-9-2024 RA-1 11-201-004,005 & 006; 11-201-001, 002, 020 & 021 South side of Thirteen Mile, west of Middlebelt Rd. 36 - one story (55+up) ranch homes, and 40 two story town homes.



Planning Division

☐ Tax parcel

- Minor roads



SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.





Date: August 26, 2024

To: City of Farmington Hills, Planning Office

From: Schafer Development, LLC (Steve, Spencer and Aaron Schafer)
Detroit Baptist Manor (Elizabeth and Ryan Goleski, Ryan Doelle)

CC: MOBI Investments, LLC + Baptist Manor – Summary of Application for PUD Option

Summary of Application for Planned Unit Development Option

- On <u>February 14, 2024</u>, Schafer Development, LLC ("Schafer Development") submitted its initial Qualification for PUD Option for the MOBI Investments, LLC ("MOBI Investments") property.
 - o The Original (February) Submission consisted of:
 - 54 3-Story Townhomes on the MOBI Investments property
- Since the Original Submission, the Schafer Development team had the opportunity to meet with *Detroit Baptist Manor / Metropolitan Detroit Baptist* ("Baptist Manor"). Schafer Development + Baptist Manor had coordinated their efforts on a *Qualification for PUD Option* concurrently, to provide assurances that both properties are to be developed in a cohesive and complementary land use pattern.
- On March 19, 2024, Schafer Development resubmitted its second Qualification for PUD Option and a Project Narrative for the MOBI Investments, LLC ("MOBI Investments") and Baptist Manor ("Baptist Manor") assemblage.
 - The Revised (March) Submission consisted of:
 - 36 1-Story (55+ Age-Restricted) Ranch Homes on the Baptist Manor property
 - 40 <u>2-Story Townhomes</u> on the MOBI Investments property
 - The Ranches and Townhomes will be developed in separate phases.
- On <u>April 18, 2024</u>, Schafer Development received *Qualification for PUD Option* approval from Planning Commission.
- On <u>August 16, 2024</u>, Schafer Development submitted its initial *Application for PUD Option*. The Developments have been named the following:
 - Baptist Manor The Tabernacle PUD ("The Tabernacle")
 - MOBI Investments Mulberry Park PUD ("Mulberry Park")

Schafer Development is formally requesting that the City of Farmington Hills consider an application for a mixed-use, multi-generational Planned Unit Development (PUD). The PUD will consist of two distinct housing types:



(i) 1-story Ranch 55+ age-restricted homes at *The Tabernacle* community and (ii) 2-story for-sale Townhomes at the *Mulberry Park* community. Along with this narrative, Schafer Development is providing the required submittal materials prepared in accordance with the Application for Planned Unit Development:

- Proof of Ownership
 - Mulberry Park PUD: Proof of Ownership Title Commitment + LARA Ownership Screenshot
 - The Tabernacle PUD: Proof of Ownership Oakland County GIS Property Tax Cards + LARA Ownership Screenshot
- Eight (8) 24" x 36" copies of PUD Plan
- One (1) electronic version of the PUD Plan emailed to the Planning Office
- Fifteen (15) 11" x 17" reduced copies of PUD Plan

Location, Property Identification and Authorization:

The *Mulberry Park PUD* property measures **5.98 Acres** and *The Tabernacle PUD* property measures **6.06 Acres**. Collectively, the Subject Properties measures **12.04 Acres**. The Subject Properties are located on the south side of 13 Mile Road, west of Middlebelt Road and directly south of the *Westgate* / north of the *Holly Hill Farms* residential communities.

The property addresses and Tax ID numbers are listed below:



Parcel	Owner	Address	Parcel I.D.
1	MOBI Investments	29845 W. 13 Mile Road	22-23-11-201-006
2	MOBI Investments	29905 W. 13 Mile Road	22-23-11-201-005
3	MOBI Investments	29915 W. 13 Mile Road	22-23-11-201-004
4	Baptist Manor	30005 W. 13 Mile Road	22-23-11-201-020
5	Baptist Manor	W. 13 Mile Road	22-23-11-201-021
6	Baptist Manor	W. 13 Mile Road	22-23-11-201-002
7	Baptist Manor	30115 W. 13 Mile Road	22-23-11-201-001



Zoning Ordinance – Miscellaneous Items from Chapter 34-3.20 5B

Site Plan Synopsis

The *Mulberry Park* PUD will feature for-sale 2-story townhome dwellings. The residences will feature 3-bedrooms, 2.5-bathrooms and a 2-car attached garage in the 2,000 square foot range. Depending on grade and elevations across the property, select units will feature a walk-out basement option. This unit type is designed for a more first-time homebuyer and or an active adult, looking for a brand-new housing alternative with minimal maintenance commitments. Once fully completed, the property will be turned over to a homeowners' association which will be managed by an outside management company to coordinate common area and individual unit landscaping, snow removal, etc.

The Tabernacle PUD will feature a 55+ age-restricted apartment home dwelling. The residences are currently undergoing design and are subject to change, but units will consist of an open floor plan with a 2-bedroom, 2-bathroom and a 2-car attached garage in the approximately 1,200 square foot range. This unit type is designed for easy accessibility to allow elderly residents to age-in-place in the community. The property will be managed by Baptist Manor.

The *Mulberry Park* HOA as well as *The Tabernacle* / Baptist Manor Team will coordinate maintenance of all common infrastructure, such as (but not limited to):

- Roadway Maintenance
- Sidewalk / Driveway Plowing

- Stormwater and Drainage Management
- Interior and Exterior Landscaping

Existing Zoning and Use

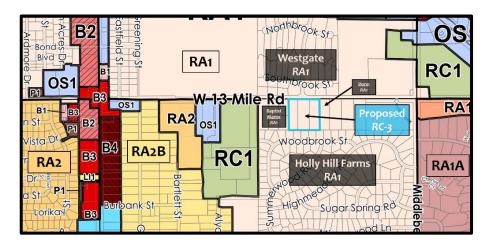
The property is being rezoned as a **Planned Unit Development (PUD)**. The adjacent property owner zoning districts are listed below:

<u>General Location of Residential Unit Lot Types and Densities and Lot Sizes by Area</u>

Location	Community Name	Zoning	Residential Unit Type	Densities	Lot Sizes
North	Westgate	RA-1	Single-Family Community	71 Units (0.91 DU/AC)	0.46 – 1.80 AC
East	Baptist Manor	RC-1	Multi-Family Community	-	-
South	Holly Hill Farms	RA-1	Single-Family Community	192 Units (1.67 DU/AC)	0.35 – 0.50 AC
West	Dunn Residence	RA-1	Single-Family Residence	1 Unit	1.87 AC

- To the North, *Westgate* is a single-family residential community zoned **RA-1**.
- To the East, **Detroit Baptist Manor** is a single-family rental use zoned **RA-1**.
- To the South, Holly Hill Farms is a single-family residential community zoned RA-1.
- To the West, the Dunn Property is a single-family home zoned RA-1.





City of Farmington Hills – Zoning Map (06.2023)

To our immediate west, there are more intense office, commercial and higher density residential developments. To our east, the *Cove Creek* condominium community was rezoned and approved as a PUD. We believe there is strong justification for a PUD at the Subject Properties, as it will result in a transitional housing type in between these more intense uses and the adjacent single-family communities. The proposed townhomes will bring a much-needed attainable form of housing to the young / first-time homebuyer demographic. The proposed ranches will provide additional empty-nester housing solutions for aging Farmington Hills residents, providing them options to age-in-place within the community.

Conclusion

We thank you in advance for your consideration of the <u>Application for PUD</u>. Schafer Development has a longstanding history within the City, and we look forward to working on another development opportunity within the community!

Sincerely,

The Schafer Development Team

Steven Schafer

P: (248) 613-6262

E: steve@schafer-dev.com

Spencer Schafer

P: (248) 914-7499

E: spencer@schafer-dev.com

Aaron Schafer

P: (248) 660-4454

E: aaron@schafer-dev.com

The Baptist Manor Team

Elizabeth Goleski

P: (248) 626-6100

E: E.Goleski@thebaptistmanor.org

Ryan Goleski

P: (248) 626-6100

E: r.goleski@thebaptistmanor.com

Ryan Doelle

P: (248) 626-6100; x120

E: r.goleski@thebaptistmanor.com



October 9, 2024

Farmington Hills Planning Commission 31555 W 11 Mile Rd Farmington Hills, MI 48336

PUD Review

Case: PUD 2, 2024, SP/56-8-2024

Site: 29845, 29905, 29915, 30005, 30115 W 13 Mile

(Parcel IDs 22-23-11-201-001, -002, -004, -005, -006, -020, -021)

Applicant: Schafer Development, LLC Application Date: 8/16/2024; plans revised

Zoning: RA-1 One Family Residential District (20,000 square feet)

We have completed a review of the application for PUD Qualification referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



SUMMARY OF FINDINGS

Existing Conditions

- 1. **Zoning.** The site is currently zoned RA-1.
- 2. **Existing site.** The site is 12.04 acres over seven parcels and there are three houses present. The site has no wetlands or other notable natural features apart from trees, which are especially dense in the southern portion of the property.
- 3. Adjacent Properties.

Direction	Zoning	Land Use
North	RA-1	Single family homes
RA-1	RA-1	Single family homes
South	RA-1	Single family homes
West	RC-1	Baptist Manor

4. **Site configuration and access.** The site is proposed to be accessed from two driveways to 13 Mile Rd.

Project Summary

The applicant proposes a two-fold development under two names: The Tabernacle (6.06 acres) and Mulberry Park (5.98 acres).

The Tabernacle consists of nine buildings with a total of 36 units of single-story attached ranch homes. The community will be a 55+, age-restricted neighborhood and an extension of Baptist Manor to the west, which will manage the development. This corresponds to the four westernmost existing parcels.

Mulberry Park consists of nine buildings with 40 units of attached, two-story, 3-bedroom townhouses. These townhouses are for sale and the development will be managed by a property association. This corresponds to the three easternmost existing parcels.

Buildings in both developments are oriented toward a shared ring road with garages and driveways on the front façade. Structures are buffered from neighboring developments by a minimum 60-foot setback along the southern border, with a 69-foot greenbelt along 13 Mile Road.

PUD Qualification

At its meeting on April 18, 2024, the Planning Commission granted preliminary PUD qualification to this application with the following motion:

MOTION by Brickner, support by Aspinall, to make a preliminary finding that PUD 1, 2024, dated March 19th, 2024, submitted by Schafer Development LLC, qualifies for the Planned City of Farmington Hills Approved 05-16-2024 Planning Commission Meeting April 18, 2024 Page 13 Unit Development Option under Section 34-3.20.2.A through D. of the Zoning Chapter. It is further determined that the proposal meets at least one of the objectives as outlined in Section 34-3.20.2.E.i. through viii. and that it be made clear to the applicant that final granting of the PUD plan and contract requires approval by City Council, after recommendation by the Planning Commission, with the following finding and condition:

1. The proposed plan preliminarily meets the following qualification standards of Section 34- 3-20-2.E.i through viii.: Standards i, iii, vii, viii

Page: 3

2. The applicant shall include as part of their plans all the recommendations from the Giffels Webster review memorandum dated April 11, 2024.

Motion passed unanimously by voice vote.

This determination was made based upon the following:

Criteria for qualifications. In order for a zoning lot to qualify for the Planned Unit Development option, the zoning lot shall either be located within an overlay district or other area designated in this chapter as qualifying for the PUD option, or it must be demonstrated that all of the following criteria will be met as to the zoning lot:

A. The PUD option may be effectuated in any zoning district.

been applied to the draft future land use map.

- B. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity or building or use not normally permitted shall result in an improvement to the public health, safety and welfare in the area affected. The proposed use—townhouses—is not permitted in the RA-1 district. However, this proposed use may be considered as a deviation from the ordinance as a part of the PUD. Density is consistent with the RC-3 district.
- C. The PUD shall not be utilized in situations where the same land use objectives can be accomplished by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PUD application. Asserted financial problems shall be substantiated with appraisals of the property as currently regulated and as proposed to be regulated.

 The applicant is proposing density consistent with the RC-1 district. The Planning Commission should note that the site was carried forward from the 2009 Master Plan as a "special residential planning area." During the current planning process, it has been recognized that the thoroughfare frontage of the 13 Mile corridor, particularly between Orchard Lake and Middlebelt Roads, is less desirable for single-family residential lots. A flexible residential designation has
- D. The Planned Unit Development option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those contemplated in the Future Land Use Plan unless the proponent can demonstrate to the sole satisfaction of the city that such added loads will be accommodated or mitigated by the proponent as part of the Planned Unit Development.
 - The number of attached units proposed on the site clearly exceeds the number of single-family units that could be built under RA-1 zoning (76 versus 26). The applicant should provide a traffic study to compare the likely traffic volume from this development to potential commercial development on the site. The complex would utilize two access points to 13 Mile Rd.

Page: 4

E. The Planned Unit Development must meet, as a minimum, one of the following objectives of the city. The applicant has provided responses to five of the PUD objectives.

 To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.

The applicant notes that the attached concept plans include a substantial buffer to the neighboring subdivision. Rear yard buffers on the concept plan are generally 70 feet, with one ranch building at 60 feet.

- ii. To permanently establish land use patterns which are compatible or which will protect existing or planned uses.
- iii. To accept dedication or set aside open space areas in perpetuity.

The applicant proposes that the buffer area along the southern property line will be dedicated as an open space preservation area in perpetuity.

- iv. To provide alternative uses for parcels which can provide transition buffers to residential areas.
- v. To guarantee the provision of a public improvement which could not otherwise be required that would further the public health, safety, or welfare, protect existing or future uses from the impact of a proposed use, or alleviate an existing or potential problem relating to public facilities.
- vi. To promote the goals and objectives of the Master Plan for Land Use.

 The applicant provided responses citing the Master Plan. However, the goals and policies

 listed in the Applicant's response were specific to the West Side of Orchard Lake and South of

 Thirteen Mile Study Area, which does not contain the subject site.
- vii. To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.

The applicant's response cites the southern perimeter setback for the provision of open space. In addition, the application notes the PUD will result in a unique townhouse development capable of producing an attractive for-sale community.

viii. To bring about redevelopment of sites where an orderly change of use is determined to be desirable.

The applicant's narrative also addresses this criterion.

Page: 5

Though only one objective must be met by the plan, the applicant's narrative addressed objectives i, iii, vi, vii, and viii. **The PC found that the plan preliminarily met objectives i, iii, vii, and viii.**

F. The PUD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by requesting a zoning change or variance.

An increase in density over current zoning is sought by the applicant. Given that the proposed use is not permitted in the underlying district, it appears that the request is not made solely to avoid a variance.

Final Determination

Per Section 34-3.20.5.B, the following must be submitted when seeking final determination of PUD qualification:

٧	a. A boundary survey of the exact acreage being requested done by a registered land surveyor or civil engineer (scale not smaller than one inch equals one hundred (100) feet).
V	b. A topographic map of the entire area at a contour interval of not more than two (2) feet. This map shall indicate all major stands of trees, bodies of water, wetlands and unbuildable areas (scale: not smaller than one inch equals one hundred (100) feet).
٧	c. A proposed land use plan indicating the following at a scale no smaller than one inch equals one hundred (100) feet (1" = 100'):
*	(1) Land use areas represented by the zoning districts enumerated in Section 34-3.1.1 through Section 34-3.1.30 of this chapter.
٧	(2) Vehicular circulation including major drives and location of vehicular access. Preliminary proposals as to cross sections and as to public or private streets shall be made.
٧	(3) Transition treatment, including minimum building setbacks to land adjoining the PUD and between different land use areas within the PUD.
**	(4) The general location of nonresidential buildings and parking areas, estimated floor areas, building coverage and number of stories or height.
٧	(5) The general location of residential unit types and densities and lot sizes by area.
٧	(6) A tree location survey as set forth in Section 34-5.18, Tree Protection, Removal and Replacement.
√	(7) The location of all wetlands, water and watercourses and proposed water detention areas.
٧	(8) The boundaries of open space areas that are to be preserved and reserved and an indication of the proposed ownership thereof.

Page: 6

	(9) A schematic landscape treatment plan for open space areas, streets and border/transition areas to adjoining properties.	٧
d.	A preliminary grading plan, indicating the extent of grading and delineating any areas which are not to be graded or disturbed.	>
e.	An indication of the contemplated water distribution, storm and sanitary sewer plan.	V
f.	A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking and supporting documentation, including the intended schedule of development.	٧

^{*}Land use is all attached single family; plan shows split between managed 55+ housing and for-sale unrestricted housing.

Site Plan Review (56-8-2024/57-8-2024):

- 1. **Summary of Proposed Use.** The plan is presented as two site plans, both falling under the same PUD. The plan proposes 76 total units in 17 buildings; 40 two-story townhome units are proposed to be for-sale units, each including three bedrooms; the 36 ranch units are 55+. Access to the site would be via two driveways from 13 Mile.
- 2. **Density.** The parcel is 524,462.4 square feet. Density is determined by the number of rooms. To determine the number of rooms, the following standard (Section 34-3.5.2.F.) is applied:

Two-bedroom unit: 3 rooms
Three-bedroom unit: 4 rooms

The applicant proposes 76 total units, including 40 three-bedroom units (160 rooms) and 36 two-bedroom ranch units (108 rooms), whose bedroom count is not given. The following densities are permitted under conventional zoning:

District	Lot Area/sq ft	Rooms permitted
RC-1	1,900	276 rooms
RC-2	1,400	374 rooms
RC-3	1,050	499 rooms

Across the two portions of the PUD, 268 rooms are proposed, which is in line with the RC-1 district.

Taken individually, the 6.06 acres of the Tabernacle portion permits 138 rooms in RC-1, and 108 are provided. The 5.98 acres of the Mulberry Park portion permits 137 rooms in RC-1, and 160 are provided; this number is over the RC-1 density. The RC-2 district would permit 186 rooms on the Mulberry Park portion, and the proposal falls well within that.

3. **Master Plan.** The master plan's Future Land Use map designates this site as Flex Residential, and it is part of a Residential Special Planning Area, titled 13 Mile Road Near Middlebelt in the 2024 Master Plan. This area covers several additional lots in that plan, and was identified as an area with the potential to be aggregated and redeveloped with a single access point off 13 Mile Rd.

Flex Residential Description

"The Flex Residential category is intended to acknowledge the challenging nature of redevelopment on the designated land and allow for a variety of approaches to future residential projects. Such

^{**}The plan does not include non-residential buildings.

Page: 7

approaches may include clustering of detached or attached units, constructing units in a townhome, rowhouse, or cottage court format, duplexes, triplexes, or quadplexes in either side-by-side or stacked arrangements, with a height of one to three stories. In all cases, density beyond that permitted in the current zoning district should be tied to the provision of preserved open space, and especially natural buffers to adjacent, established neighborhoods. For more detail on the sites in the City that are identified for this category, see Special Residential Planning Areas in the following chapter."

2024 Master Plan Recommendations for This Area

"The Flex Residential future land use category has been applied to this planning area. Redevelopment could occur in a variety of formats, from small detached units to attached units built as townhomes, small multiplex buildings, or a mix of multiple styles. This category recommends clustering of units. Where a portion of the site is developed, planning for cross-connections to future redevelopment should be integrate into site design. Increases in density should be tied to deep buffering from the neighborhood to the south, including preservation of the natural vegetation to the greatest extent possible."

4. **Dimensional Standards of the RA-1 district (34-3.1.4.E).** The applicant has not specified any requested relief from the dimensional standards of the RA-1 district.

Standard	RA-1 Requirement	Proposed (Overall)	Proposed (Tabernacle)	Proposed (Mulberry Park)
Lot Size	20,000 sq ft	12.04 acres	6.06 acres	5.98 acres
Lot width	100 ft	Over 1,000 feet	509.89	508.61
Lot coverage	25%	Not specified on plans	Not specified on plans	Not specified on plans
Front setback	40 ft	62 ft	62 ft	82 ft
Rear setback	35 ft	60 ft	60 ft	76.35 ft
Side setback (east)	10 ft/25 total of two	45.08 ft	To Mulberry Park	45.08 ft
Side setback (west)	10 ft/25 total of two	37 ft	37 ft	To Tabernacle
Building height	Max. 30 ft	Not given; two stories max	Not given; one story max	Not given; two stories max

5. **Parking.** The applicant has proposed parking consistent with the requirements for 3-bedroom multifamily units.

Standard	Required Parking	Proposed
Two BR Unit or Three BR Unit	2 spaces/unit	Mulberry: Each proposed 3BR townhouse unit includes a two-car garage and driveway (20-22 ft) Tabernacle: Each proposed 2BR townhouse has a one-car garage and 22-foot driveway

6. **Circulation.** Vehicular circulation is via a ring road through both portions of the PUD, with an outlet to 13 Mile Road from each portion (two total). There is a pedestrian pathway through the center of the PUD, along the boundary between the two portions, and this connects to the public sidewalk,

Page: 8

but there is no sidewalk for circulation within the development otherwise, either along the ring road or through the common areas. Fire and Engineering would like to see a stub connection to the east. Additionally, both parties would like to see the eastern entrance aligned with Westgate Road.

- 7. **Open Space.** All areas outside the walls of the units are held in common in both portions. As noted in the project summary, Tabernacle will be managed by Baptist Manor, and Mulberry Park will be managed by an association of the units' owners. Neither portion includes any shared use facilities in the open spaces, apart from the three stormwater detention basins.
- 8. **Rooftop Screening (34-5.17).** Rooftop equipment does not appear to be proposed. Units placed on the ground may require screening.
- 9. **Waste Management.** The plan does not show dumpster enclosures on either portion of the PUD; the applicant should confirm that curbside pickup is planned.
- 10. **Lighting.** The only lighting proposed on the site is from standard residential wall sconces directed toward the ring road. These appear to have frosted glass preventing direct viewing of the source of illumination. The photometric plan indicates that lighting is concentrated in front of the units and the common areas around the site's perimeter are not lit.
- 11. Landscaping (34-5.14) and Screening (34-5.14). The majority of preserved trees are located along the road frontage and the southern property line; in both cases, the number preserved is adequate to meet the buffer tree requirements on the ordinance. A meandering 3-foot brick wall is proposed along the road frontage on both portions of the PUD. Arborvitae are provided in rows along the eastern property line in addition to the required trees.

Item	Required		Proposed/Comments	
Landscape plan informational requirements (34-5.14.3)	mational by a sealed landscape architect irements		Compliant	
Minimum size and spacing requirements	Size	· · · · · · · · · · · · · · · · · · ·		
(34-5.14.F)	(Height/width)	groupings	rows	
Evergreen Trees	8 ft. height	20 ft.	12 ft.	Compliant
Narrow Evergreen Trees	5 ft. height	10 ft.	5 ft.	Compliant
Large Shrubs	30 in. height	10 ft.	5 ft.	N/A
Small Shrubs	24 in. width	4 ft.	4 ft.	N/A
Large Deciduous	3 in. caliper	30 ft.	-	Compliant
 Small deciduous trees 	2 in. caliper	15 ft.	-	Compliant
Hedge shrubs	24 in. height	3 ft.	3 ft.	N/A
Canopy Trees (34-5.14.4)	One such tree shall be provided for each two thousand eight hundred (2,800) square feet of the paved surface area on the zoning lot		This plan does not have a parking lot, which this standard is generally applied to.	

Page: 9

Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge of small shrubs, or A masonry wall or berm of 2 feet high	No parking lot proposed, but 3' wall is proposed between ring drive and right-of-way, in addition to numerous existing and replacement trees.
Buffer area from RA District (34-5.14.6)	Required along east and south property lines	Preserved trees along the southern property line are adequate to meet the buffer tree requirement; a large portion of the required replacement trees are also placed in the buffer area and along the eastern property line to provide screening.

No wall or berm is required given the absence of a parking lot; the plan does not provide any fences or walls in addition to the dense vegetative screening; the Planning Commission may discuss whether this plan, as a PUD, warrants any additional screening.

12. **Tree Removal**. A tree removal and replacement plan was provided. It provides calculations for Tabernacle and Mulberry Park separately. *Verification of tree counts (especially landmark trees) would be simplified by noting in the inventory on Sheet SP01.1 which trees are landmark trees, and which are to be kept and which are to be removed.*

Tabernacle					
Standard	Shown in Table	Shown on Plan			
Total Trees Removed	218				
Total Regulated Trees Removed	200 (replace 1:1)				
Total Landmark Trees/dbh	18 (523.5" dbh)				
	X 0.25 = 128.38" / 3 = 43				
Replacements Required	200 + 43 = 243				
Replacements Provided	200 (with 43 paid into tree fund)	200			
Mulberry Park					
Standard	Shown in Table	Shown on Plan			
Total Trees Removed	147				
Total Regulated Trees Removed	103 (replace 1:1)				
Total Landmark Trees/dbh	44 (total 1,187.8" dbh)				
	X 0.25 = 296.95" / 3 = 99				
Replacements Required	202				
Replacements Provided	202	202			

13. Relief Sought from Ordinance Standards

Page: 10

a. Permit attached units at RC-1 density.

It appears possible that this plan could be achieved under RC-1 zoning, though the Mulberry Park portion, taken on its own, does exceed the density permitted in that district.

We are available to answer questions.

Respectfully,

Giffels Webster

Joe Tangari, AICP Principal Planner Julia Upfal, AICP Senior Planner



Current zoning



Master Plan designations for this area. See discussion above.

Page: 13



Wetland map





DEPARTMENT OF PUBLIC SERVICES JACOB RUSHLOW, P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE:

October 8, 2024

TO:

Planning Commission

FROM:

James Cubera, City Engineer

SUBJECT:

The Tabernacle & Mulberry Park

29845, 29905, 29915, 30005, & 30115 Thirteen Mile Road

22-23-11-201-002 thru 006, 021 & 022

PUD #2, 2024; PJ #11-23-89

This office has performed a preliminary review of the above referenced PUD plan submitted to the Planning Department on September 17, 2024. Our preliminary comments are as follows:

- 1. A public 10" public sanitary sewer exists on the north side of 13 Mile Road just west of Westgate Road. The proponent shows a design that will tap this system +/- 370' west of the intersection. The plan proposes to extend the public sewer throughout the site. Basement service appears to be provided. It must be confirmed. It is suggested that the public system be tapped at the manhole located at the intersection of Westmeath. Also, with the proposed sewer crossing 13 Mile Road it must be jacked and bored.
- 2. With this development the proponent must extend an 8" public sanitary sewer to the northeast property corner of the site for future extension purposes. It must allow for upstream basement service.
- 3. A 12" water main exists along the south side of 13 Mile Road across the frontage of the site. The plan shows two taps of this system and an internal loop. This is appropriate. Along with this design the proponent must provide an 8" public watermain stub to the east property line approximately 350' south of 13 Mile Road.
- 4. The plans imply one sewer lead and one water lead for each building. If multiple leads are being considered than taps under pavement will be an issue and the

utility design must be revised. It is suggested that all mainline utilities be placed in greenbelt areas. Taps need to be in green areas and the service lines need to be primarily identified.

- 5. The plan identifies two curb cuts for this site with one at each end of the site off 13 Mile Road. The one approach at the west end will present issues with respect to its close proximity to the Detroit Baptist Manor signal at their eastern curb cut. The other approach may present left turn conflicts with Westmeath Road on the north side of 13 Mile Road.
- 6. We recommend that one permanent curb cut be provided opposite Westmeath and that the front ring road paralleling 13 Mile Road be extended to the east property line and be allowed to be extended in the future to service the remaining undeveloped parcels on the south side of 13 Mile Road. With this kind of extension, a permanent secondary curb cut can ultimately be provided to 13 Mile Road eastward at a later date with future development. The front parallel road would act as a marginal access road. This would minimize the future number of additional curb cuts and temporarily the west driveway that is proposed as part of this plan could be allowed until the parcels east of the site are developed and a permanent secondary access is provided. This would necessitate a signed agreement and a cash deposit for its future removal.
- 7. If at all possible and we know that it is challenging, the proponent should explore with the Detroit Manor whether the northern ring road can be extended westward and tied into the Detroit Baptist Manor main road which has the curb cut serviced by a traffic signal. This would place the road extension along the north side of the existing Detroit Baptist Manor most northeast building.
- 8. A traffic study needs to be provided substantiating the need for two curb cuts, the impact on the west drive approach on the operations of the Detroit Manor signal and the accel/decel lane needs and their geometrics as they relate to the needs of this site. The proponent's traffic engineer needs to contact the City's traffic engineer to obtain a more detailed response as what needs to be in the study.
- 9. The plan identifies a dead-end private road extending southward between buildings #3 and #5 of the west half of the site. The plan should be revised to eliminate this. The plan needs to be modified to provide a proper turn around that is not a dead end.
- 10. The plans identify a rerouted sidewalk along 13 Mile Road frontage. This appears necessary. Where possible the south walk line should be predominately one foot north of the ultimate 60 foot right of way. This design will be reviewed and discussed further in detail during construction review.

- 11. Storm water detention, discharge restriction and storm water quality must be provided in accordance with the City of Farmington Hills Engineering standards. The City has recently revised the drainage ordinance to be consistent with the Oakland County Water Resources Commission standards. The plans identify three proposed detention ponds. The support and calculations for these systems need to be provided showing how they meet these standards.
- 12. The City's Environmental Engineer, Tyler Sonaga will be addressing the above drainage standards more specifically. Included with this memo are his comments. He can be reached 248-871-2533.
- 13. Note that much of this site currently drains south or east. The proponent is proposing a gravity storm system discharging to the 13 Mile Road storm system. Calculations will be required identifying if the downstream system can accommodate this discharge. Downstream improvements by the developer may be warranted.
- 14. The existing right-of-way in the area for 13 Mile Road is an implied 33 feet right-of-way. We suggest that the proponent dedicate the ultimate 60 feet right-of-way to the City to comply with the master right-of-way plan.
- 15. Although the plans identify some grading such as finished floor grades and private road grades, a detailed grading plan must be provided which minimizes retaining walls and confirms that all onsite drainage will be captured and drained to the detention basins. The drainage of the rear yards of the eastern half units identified as #2, #3 and #4 must be captured. This too can be addressed further during construction review.
 - Along with the above several of the buildings will require significant fill, up to 10 feet in some instances. This needs to be addressed.
- 16. A retaining wall is proposed along a portion of the south building limits of the southern most detention pond as well along the entire east property line. In some instances, this appears to support up to a 10-foot grade differential. A detailed plan and profile including a detail of the footings as well as sufficient grades on both sides of the wall must be provided. A fence on top will be required and a detailed design with calculations must be provided by a structural engineer for review.
- 17. Once detailed construction plans have been conceptionally put together, we suggest that proponent meet with the Engineering Division via a virtual meeting or in person to discuss the site in further detail.



INTEROFFICE CORRESPONDENCE

DATE: October 4, 2024

TO: Planning Commission

FROM: Jason Baloga, Fire Marshal

SUBJECT: PUD 2-2024, Site Plan 56-8-2024 (Mulberry Park & The Tabernacle)

The Fire Department has no objection to approval of this site plan contingent upon compliance with the following requirements:

- 1. Building shall be maintained in accordance with minimum Fire Prevention requirements.
- 2. Site shall be in accordance with Chapter 12, Section 12-11(1)c of the City Ordinance; Emergency Access shall be provided according to Engineering Division specifications. Multiple curb cuts and the locations on 13 Mile Road shall be approved by Engineering.
- 3. Site shall meet Chapter 12, Section 12-11(2)d of the City Ordinance (hydrants); "All points on the exterior of the building shall be no further than two hundred fifty (250) feet from a hydrant.
- 4. Site shall be in accordance with Chapter 12, Section 12-11(2)e of the City Ordinance; the maximum distance between the Fire Department Connection and the closest hydrant shall not exceed one hundred fifty (150) feet.
- 5. Riser room/fire alarm access shall be located on exterior of the building, have its own address and not be located within a residence.
- 6. 72 hours or more of backup power may be considered for age restricted buildings.

Jason Baloga, Fire Marshal

City of City of Farmington Hills, Oakland County, Michigan SITE PLAN DOCUMENTS Prepared For the The Baptist Manor / Schafer Development P.U.D. Developments

Owner / Developer

"The Tabernacle" - West Parcel The Baptist Manor 30301 W 13 Mile Farmington Hills, MI 48334

Contact:

Ryan Doelle Tel. (248) 842-9106

Email: r.doelle@the baptistmanor.org

"Mulberry Park" - East Parcel Schafer Development 31400 Northwestern Highway, Suite H Farmington Hills, MI 48334

Contact:
Spencer Schafer
Tel. (248) 613-6262
Email: steve@schafer-dev.com

Civil Engineer

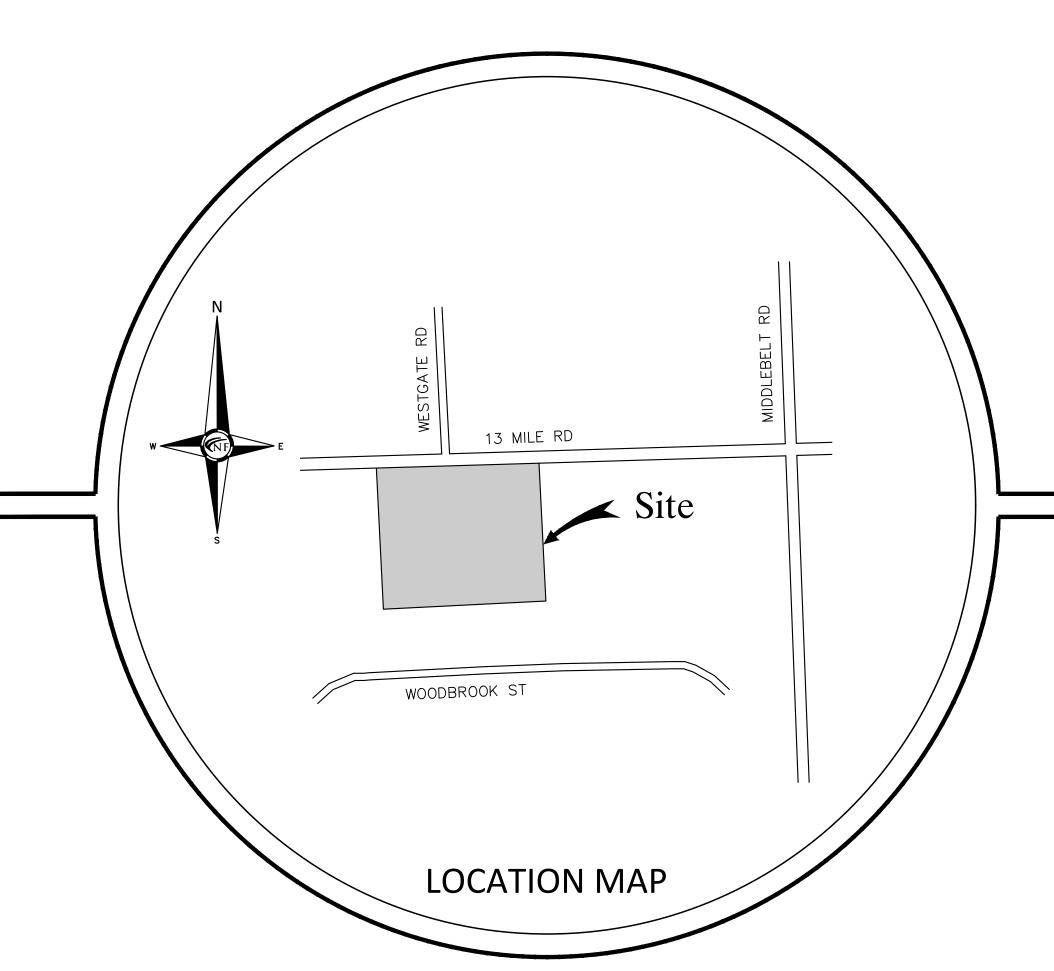
Nowak & Fraus Engineers 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257

Contact: Andrew Wiseman Tel. (248) 332-7931 Fax. (248) 332-8257 Email: awiseman@nfe-engr.com

Landscape Architect

Nowak & Fraus Engineers 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257

Contact: George A. Ostrowski, PLA, LEED AP Tel. (248) 332-7931 Fax. (248) 332-8257 Email: gostrowski@nfe-engr.com



Project Name

"The Tabernacle" & "Mulberry Park"

LEGAL DESCRIPTION - "The Tabernacle"

Land situated in the City of Farmington Hills, County of Oakland, State of MI described as follows:

PARCEL 1: Part of the Northeast 1/4 of Section 11, Town 1 North, Range 9 East, described as: Beginning at a point 170.10 feet due East from the Northwest corner of the Northeast 1/4, Section 11, Town 1 North, Range 9 East; thence due East 169.96 feet; thence South 0°16'00" East, 512.80 feet; thence North 89°51'50" West 169.96 feet; thence North 0°16'00" West 512.40 feet to the point of beginning.

PARCEL 2: That part of the Northeast 1/4 of Section 11, Town 1 North Range 9 East, described as: Beginning at a point located due East along the North Section line, 340.06 feet and South 0°16' East 272.9 feet from the North 1/4 corner; thence South 0°16' East 239.9 feet; thence South 89°51'50" East 169.83 feet; thence North 0°16' West 240.1 feet; thence Westerly to the point of beginning, together with a 20 foot easement for water line utilities and ingress and egress over the East 20 feet of the Northerly 273.1 feet of the East 2 acres of the West 6 acres of the following described Parcel: Beginning at the North 1/4 corner of said Section; thence South 0°16' East 512 feet; thence North 89°51'50" East 849.50 feet; thence North 0°16' West 514 feet; thence due West 849.50 feet along the North Section line to the point of beginning.

PARCEL 3: Part of the Northeast 1/4 of Section 11, Town 1 North, Range 9 East, more particularly described as follows: Beginning at the Northwest corner of the Northeast 1/4 of the said Section 11, Town 1 North, Range 9 East; thence due East along the centerline of the 13 Mile Road a distance of 170.10 feet; thence South 0°16'00" East a distance of 512.40 feet; thence North 89°51'50" West a distance of 170.10 feet; thence North 0°16'00" West a distance of 512.00 feet to the point of beginning.

Commonly known as: 30115 West 13 Mile Road and Vacant Parcels, Farmington Hills, MI 48334-2205 Tax ID: 23-11-201-001; 23-11-201-002 & 23-11-201-021

LEGAL DESCRIPTION - "Mulberry Park"

LAND IN THE CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL 1:

TOWN 1 NORTH, RANGE 9 EAST, SECTION 11, PART OF THE NORTHEAST 1/4 BEGINNING AT A POINT DISTANT EAST 509.89 FEET FROM THE NORTH 1/4 CORNER; THENCE SOUTH 00 DEGREES 16 MINUTES 00 SECONDS EAST 513.20 FEET; THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 148.61 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST 513.56 FEET; THENCE WEST 148.61 FEET TO BEGINNING.

TAX ID NO. 23-11-201-004

PARCEL 2:

PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, BEGINNING AT A POINT DISTANT EAST 658.50 FEET FROM THE NORTH 1/4 CORNER; THENCE EAST 191 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 00 SECONDS EAST 513.78 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 50 SECOND WEST 191 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST 513.56 FEET TO BEGINNING.

TAX ID NO. 23-11-201-005

PARCEL 3:

THE WEST 1/2 OF THE FOLLOWING DESCRIBED PREMISES: PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, MICHIGAN; COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SAID SECTION 11; THENCE DUE EAST ALONG THE CENTERLINE OF THIRTEEN MILE ROAD, A DISTANCE OF 849.50 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE DUE EAST ALONG THE CENTERLINE OF THIRTEEN MILE ROAD, A DISTANCE OF 338.00 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 00 SECONDS WEST, A DISTANCE OF 514.90 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 10 SECONDS WEST, A DISTANCE OF 533.38 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 50 SECONDS WEST, A DISTANCE OF 513.78 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 23-11-201-006

SHEET INDEX

SP-00 Cover SheetSP-01 Overall Boundary / Topographic / Tree Survey

SP-01.1 Tree List

SP-02 Topographic / Boundary / Tree Survey - West SP-03 Topographic / Boundary / Tree Survey - East

SP-03 Topographic / Boundary SP-04 General Site Plan - West

SP-05 General Site Plan - East SP-06 Paving & Grading Plan - West

SP-07 Paving & Grading Plan - East SP-08 Utility Plan - West

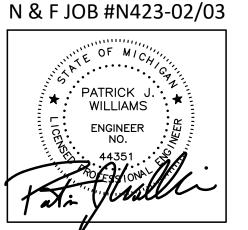
SP-09 Utility Plan - East

.1 Tree Preservation Plan .2 Landscape Plan

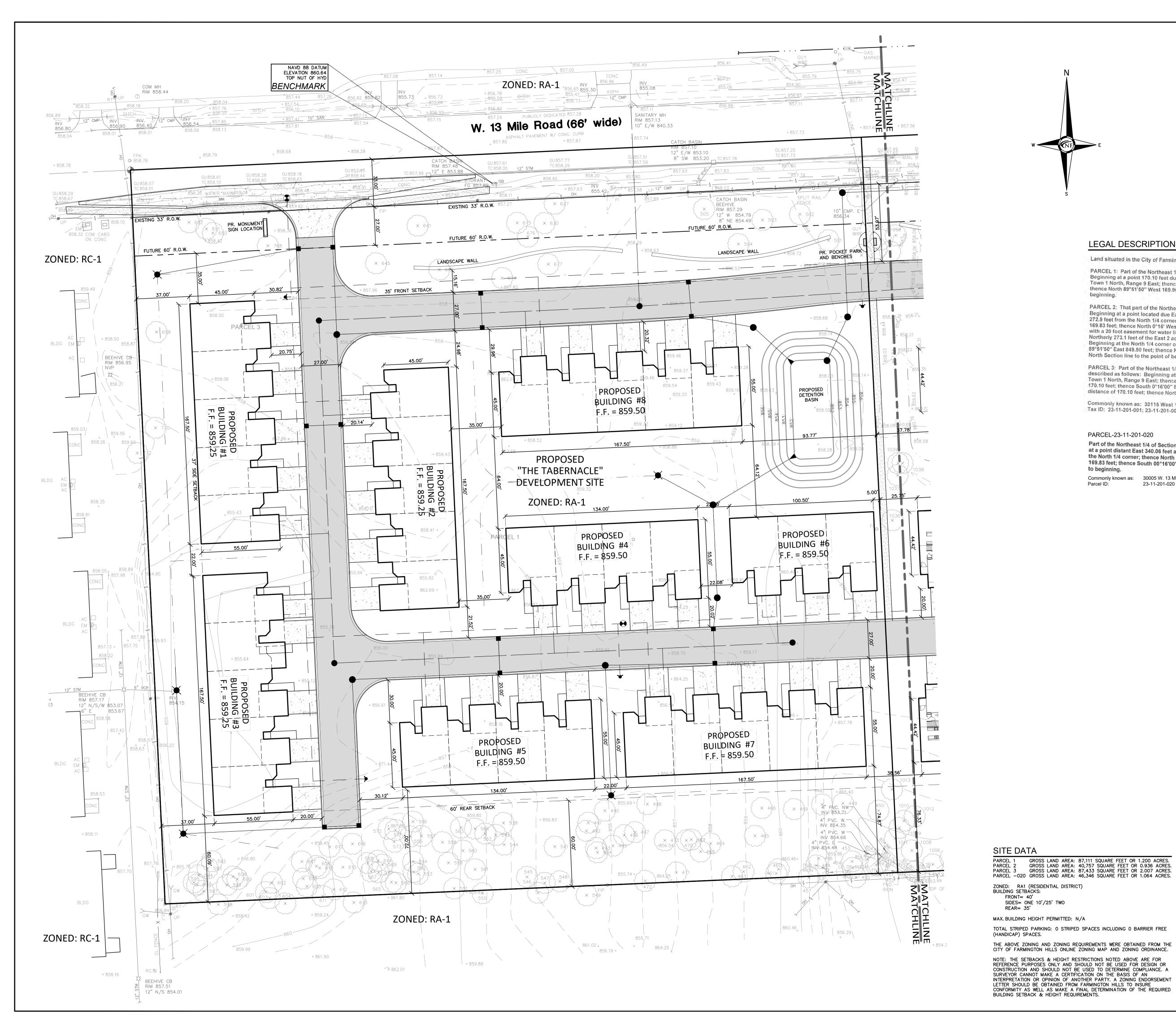
Tree Preservation Plan
Landscape Plan

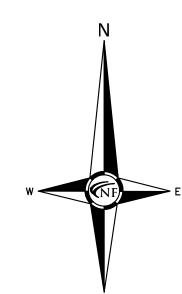
L5 Landscape Notes & Details

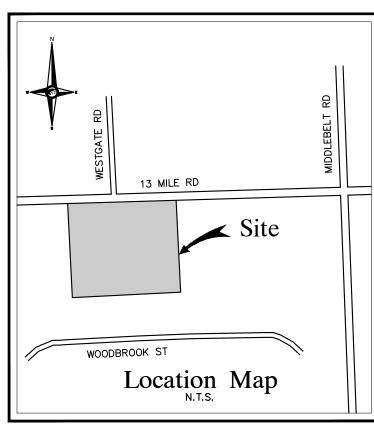




NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NFE-ENGR.COM







ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NFE-ENGR.COM

LEGAL DESCRIPTIONS (DEVON TITLE AGENCY)

Land situated in the City of Farmington Hills, County of Oakland, State of MI described as follows:

PARCEL 1: Part of the Northeast 1/4 of Section 11, Town 1 North, Range 9 East, described as: Beginning at a point 170.10 feet due East from the Northwest corner of the Northeast 1/4, Section 11, Town 1 North, Range 9 East; thence due East 169.96 feet; thence South 0°16'00" East, 512.80 feet; thence North 89°51'50" West 169.96 feet; thence North 0°16'00" West 512.40 feet to the point of

PARCEL 2: That part of the Northeast 1/4 of Section 11, Town 1 North Range 9 East, described as: Beginning at a point located due East along the North Section line, 340.06 feet and South 0°16' East 272.9 feet from the North 1/4 corner; thence South 0°16' East 239.9 feet; thence South 89°51'50" East 169.83 feet; thence North 0°16' West 240.1 feet; thence Westerly to the point of beginning, together with a 20 foot easement for water line utilities and ingress and egress over the East 20 feet of the Northerly 273.1 feet of the East 2 acres of the West 6 acres of the following described Parcel: Beginning at the North 1/4 corner of said Section; thence South 0°16' East 512 feet; thence North 89°51'50" East 849.50 feet; thence North 0°16' West 514 feet; thence due West 849.50 feet along the North Section line to the point of beginning.

PARCEL 3: Part of the Northeast 1/4 of Section 11, Town 1 North, Range 9 East, more particularly described as follows: Beginning at the Northwest corner of the Northeast 1/4 of the said Section 11, Town 1 North, Range 9 East; thence due East along the centerline of the 13 Mile Road a distance of 170.10 feet; thence South 0°16'00" East a distance of 512.40 feet; thence North 89°51'50" West a distance of 170.10 feet; thence North 0°16'00" West a distance of 512.00 feet to the point of beginning.

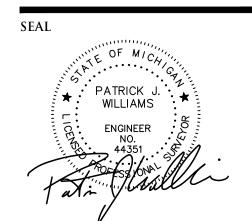
Commonly known as: 30115 West 13 Mile Road and Vacant Parcels, Farmington Hills, MI 48334-2205 Tax ID: 23-11-201-001; 23-11-201-002 & 23-11-201-021

PARCEL-23-11-201-020

GROSS LAND AREA: 87,111 SQUARE FEET OR 1.200 ACRES.
GROSS LAND AREA: 40,757 SQUARE FEET OR 0.936 ACRES.
GROSS LAND AREA: 87,433 SQUARE FEET OR 2.007 ACRES.

Part of the Northeast 1/4 of Section 11, Town 1 North, Range 9 East: Beginning at a point distant East 340.06 feet and South 00°16'00" East 272.90 feet from the North 1/4 corner; thence North 00°16'00" West 272.90 feet; thence East 169.83 feet; thence South 00°16'00" East 273.10 feet; thence West 159.83 feet to beginning.

Commonly known as: 30005 W. 13 Mile Road, Farmington Hills, MI 48334 Parcel ID: 23-11-201-020



PROJECT The Tabernacle P.U.D.

CLIENT

The Baptist Manor 30301 W 13 Mile Farmington Hills, MI 48334

Contact:

Ryan Doelle Phone: (248) 842-9106 Email: r.doelle@the baptistmanor.org

PROJECT LOCATION Part of the NE 1/4 of Section 11

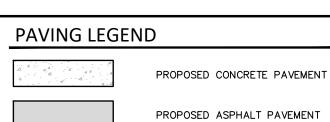
T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

General Site Plan - West

Know what's **below**

Call before you dig.

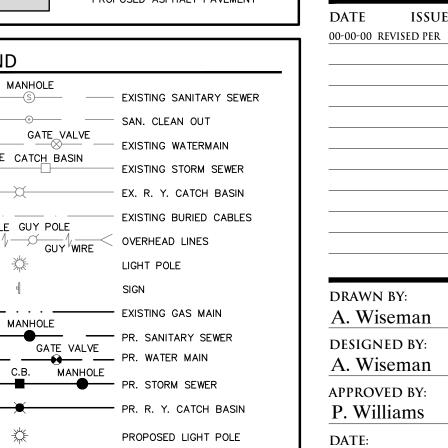
ISSUED/REVISED



LEGEND		
MANHOLE S	EXISTING SANITARY SEWER	
HYDRANT 0.4.TF .VALVE	SAN. CLEAN OUT	
GATE VALVE —	EXISTING WATERMAIN	
MANHOLE CATCH BASIN	EXISTING STORM SEWER	
X	EX. R. Y. CATCH BASIN	
UTILITY POLE GUY POLE	EXISTING BURIED CABLES	
GUY WIRE	OVERHEAD LINES	
**	LIGHT POLE	
d	SIGN	
	EXISTING GAS MAIN	
C.O. MANHOLE HYDRANT GATE VALVE	PR. SANITARY SEWER	
	PR. WATER MAIN	
INLET C.B. MANHOLE	PR. STORM SEWER	
	PR. R. Y. CATCH BASIN	
**	PROPOSED LIGHT POLE	
TC 600.00	PR. TOP OF CURB ELEVATION	
GU 600.00	PR. GUTTER ELEVATION	
TW 600.00	PR. TOP OF WALK ELEVATION	

TP 600.00

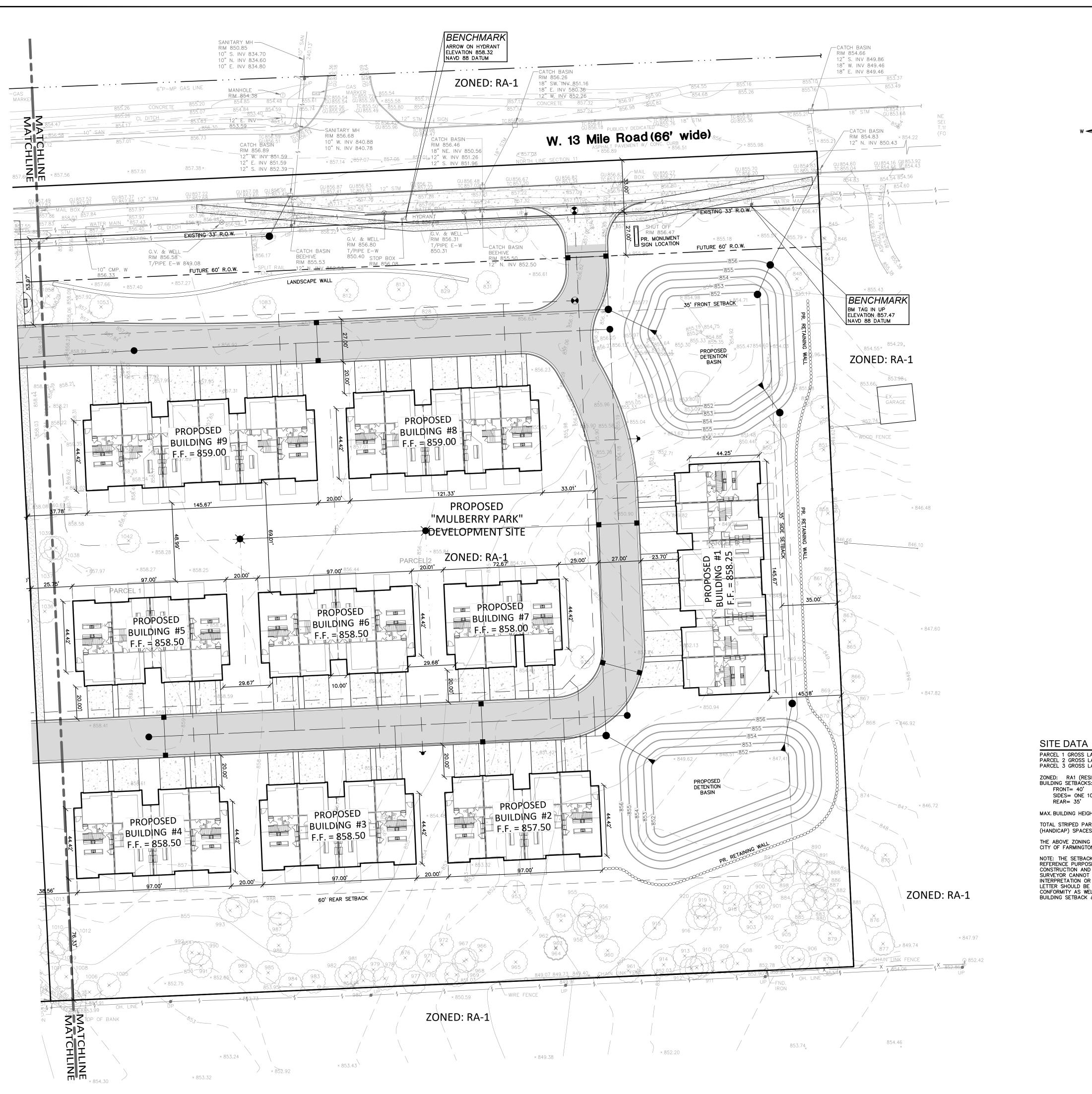
FG 600.00

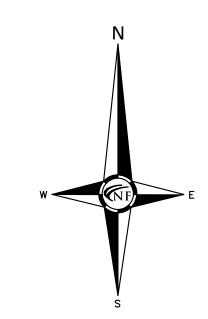


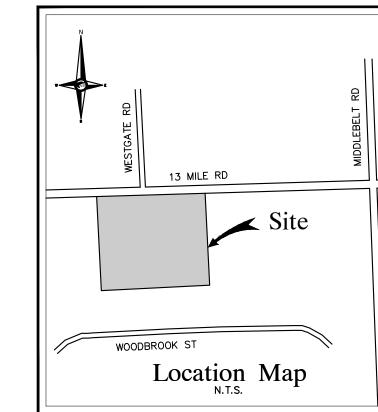
PR. TOP OF WALK ELEVATION

FINISH GRADE ELEVATION

DRAWN BY: A. Wiseman **DESIGNED BY:** A. Wiseman APPROVED BY: P. Williams DATE: 09-12-2024 SCALE: 1'' = 30'PR. TOP OF PVMT. ELEVATION NFE JOB NO. SHEET NO. N423-02







LEGAL DESCRIPTION

TAX ID NO. 23-11-201-004

PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, BEGINNING AT A POINT DISTANT EAST 658.50 FEET FROM THE NORTH 1/4 CORNER; THENCE EAST 191 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 00 SECONDS EAST 513.78 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 50 SECOND WEST 191 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST 513.56

THE WEST 1/2 OF THE FOLLOWING DESCRIBED PREMISES: PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, MICHIGAN; COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SAID SECTION 11; THENCE DUE EAST ALONG THE CENTERLINE OF THIRTEEN MILE ROAD, A DISTANCE OF 849.50 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE DUE EAST ALONG THE CENTERLINE OF THIRTEEN MILE ROAD, A DISTANCE OF 338.00 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 00 SECONDS WEST, A DISTANCE OF 514.90 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 10 SECONDS WEST, A DISTANCE OF 333.38 FEET; THENCE NORTH 00 DEGREES 15

TAX ID NO. 23-11-201-006

THE RECORD LEGAL DESCRIPTION.

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY

LAND IN THE CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

TOWN 1 NORTH, RANGE 9 EAST, SECTION 11, PART OF THE NORTHEAST 1/4 BEGINNING AT A POINT DISTANT EAST 509.89 FEET FROM THE NORTH 1/4 CORNER; THENCE SOUTH 00 DEGREES 16 MINUTES 00 SECONDS EAST 513.20 FEET; THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 148.61 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 00 SECONDS WEST 513.56 FEET;

FEET TO BEGINNING.

TAX ID NO. 23-11-201-005

MINUTES 50 SECONDS WEST, A DISTANCE OF 513.78 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARING NOTE

ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS **NOWAK & FRAUS ENGINEERS** 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NFE-ENGR.COM

> SEAL PATRICK J. WILLIAMS ENGINEER NO. 44351

PROJECT Mulberry Park

CLIENT

Schafer Development 31400 Northwestern Highway, Suite H Farmington Hills, MI 48334

Contact: Spencer Schafer Tel. (248) 613-6262

PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

General Site Plan - East

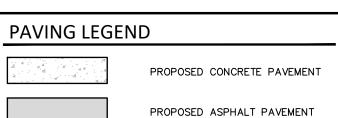
PARCEL 1 GROSS LAND AREA: 76,269 SQUARE FEET OR 1.750 ACRES. PARCEL 2 GROSS LAND AREA: 98,091 SQUARE FEET OR 2.250 ACRES. PARCEL 3 GROSS LAND AREA: 86,259 SQUARE FEET OR 1.980 ACRES.

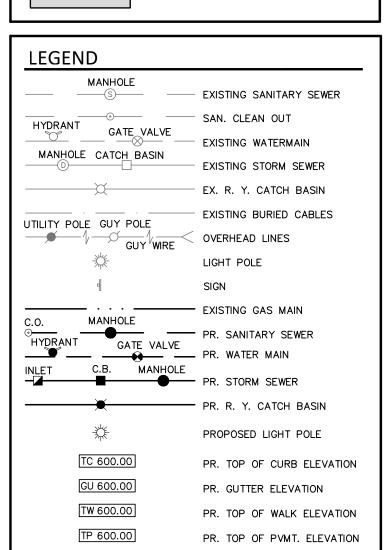
ZONED: RA1 (RESIDENTIAL DISTRICT)
BUILDING SETBACKS: FRONT= 40' SIDES= ONE 10'/25' TWO

MAX. BUILDING HEIGHT PERMITTED: N/A

TOTAL STRIPED PARKING: 0 STRIPED SPACES INCLUDING 0 BARRIER FREE (HANDICAP) SPACES.

THE ABOVE ZONING AND ZONING REQUIREMENTS WERE OBTAINED FROM THE CITY OF FARMINGTON HILLS ONLINE ZONING MAP AND ZONING ORDINANCE. NOTE: THE SETBACKS & HEIGHT RESTRICTIONS NOTED ABOVE ARE FOR REFERENCE PURPOSES ONLY AND SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION AND SHOULD NOT BE USED TO DETERMINE COMPLIANCE. A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM FARMINGTON HILLS TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK & HEIGHT REQUIREMENTS.



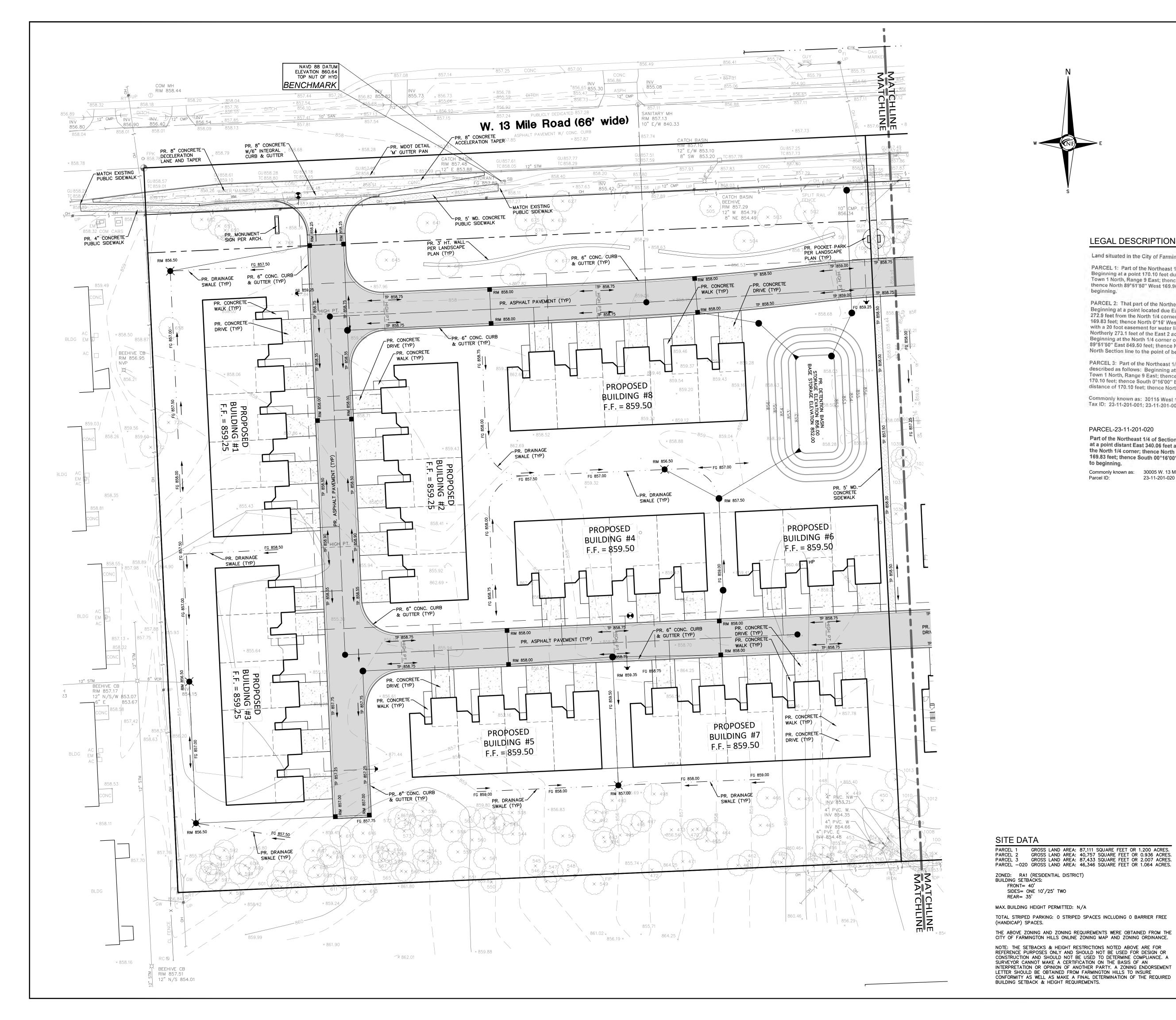


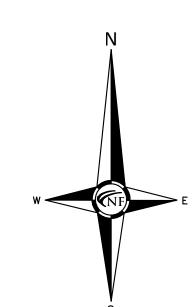
FINISH GRADE ELEVATION

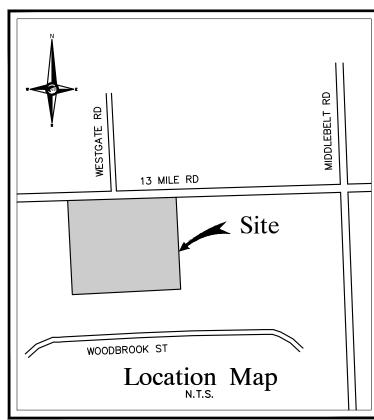
FG 600.00



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DRAWN BY:		
A. Wiseman		
		-
DESIGNED BY:		
A. Wiseman		_
APPROVED BY:		
P. Williams		_
DATE:		
09-12-2024		
SCALE: $1'' = 30'$		_
0 15 0	15 30	45
NFE JOB NO.	SHEET NO.	
N423-03	SP-05	







ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

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LEGAL DESCRIPTIONS (DEVON TITLE AGENCY)

Land situated in the City of Farmington Hills, County of Oakland, State of MI described as follows:

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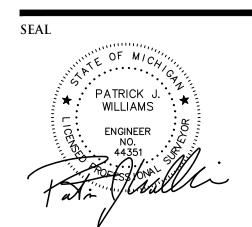
Commonly known as: 30115 West 13 Mile Road and Vacant Parcels, Farmington Hills, MI 48334-2205 Tax ID: 23-11-201-001; 23-11-201-002 & 23-11-201-021

PARCEL-23-11-201-020

GROSS LAND AREA: 87,111 SQUARE FEET OR 1.200 ACRES. GROSS LAND AREA: 40,757 SQUARE FEET OR 0.936 ACRES. GROSS LAND AREA: 87,433 SQUARE FEET OR 2.007 ACRES.

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Commonly known as: 30005 W. 13 Mile Road, Farmington Hills, MI 48334 Parcel ID: 23-11-201-020



PROJECT The Tabernacle P.U.D.

CLIENT The Baptist Manor

30301 W 13 Mile Farmington Hills, MI 48334 Contact:

Ryan Doelle Phone: (248) 842-9106 Email: r.doelle@the baptistmanor.org

PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

Paving and Grading Plan - West



SHEET NO.

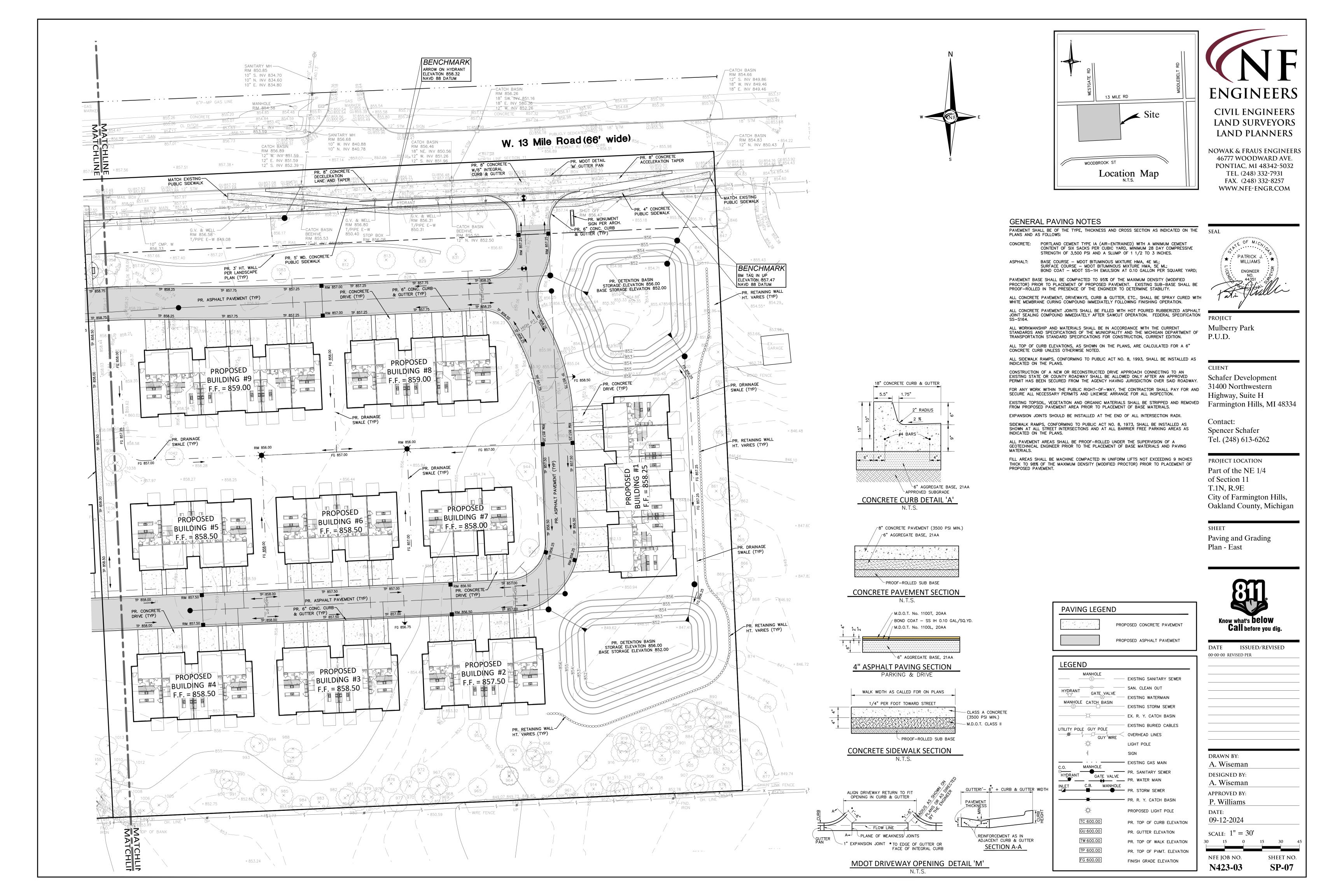
LEGEND	
MANHOLE S	EXISTING SANITARY SEWER
HYDRANT OATE WALVE	SAN. CLEAN OUT
GATE VALVE	EXISTING WATERMAIN
MANHOLE CATCH BASIN EXISTING	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
UTILITY POLE GUY POLE	EXISTING BURIED CABLES
WIRE GUY WIRE	OVERHEAD LINES
禁	LIGHT POLE
q	SIGN
C.O. MANHOLE	EXISTING GAS MAIN
HYDRANT GATE VALVE	PR. SANITARY SEWER
INLET C.B. MANHOLE	PR. WATER MAIN
TOTAL MANHOLE	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

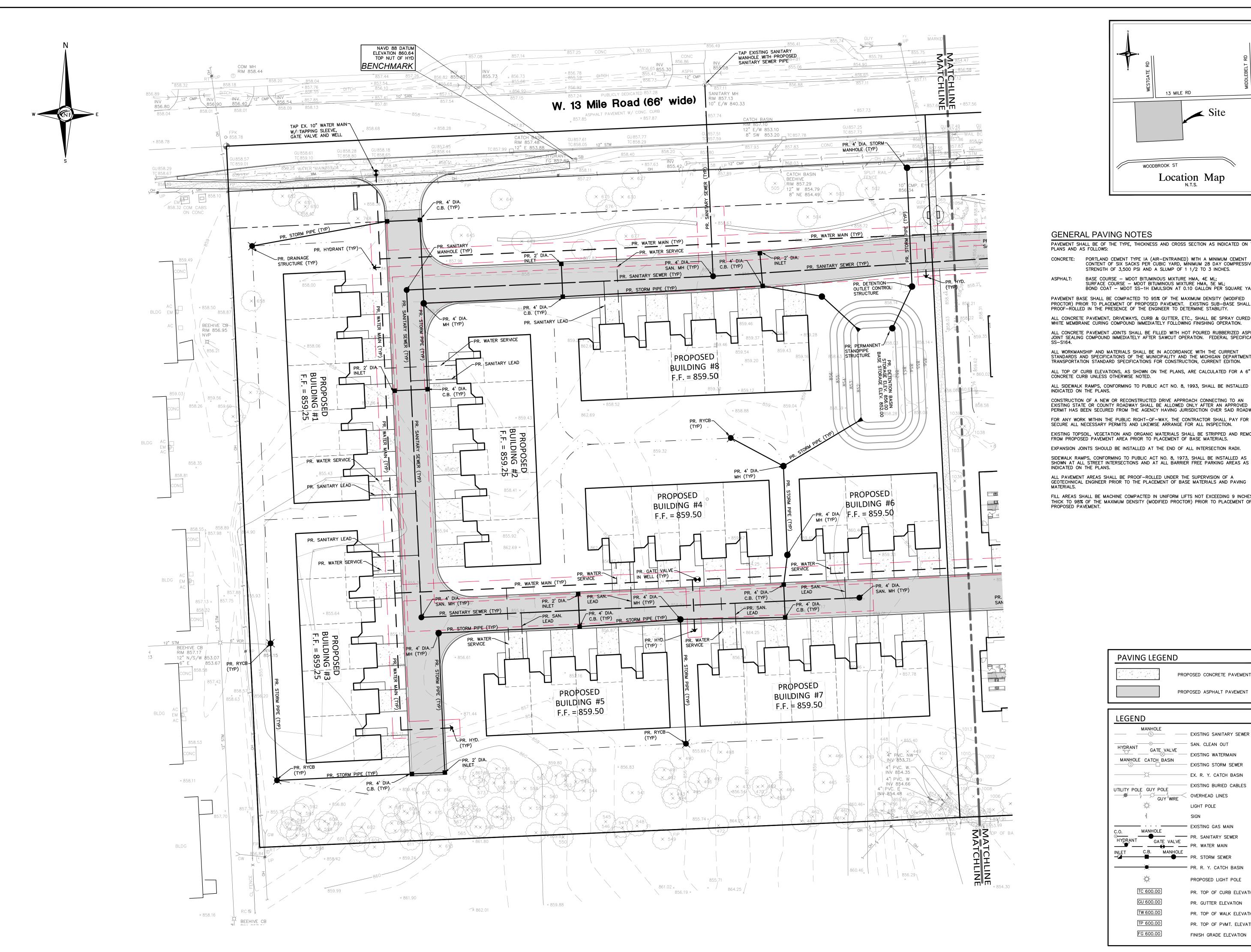
PROPOSED CONCRETE PAVEMENT

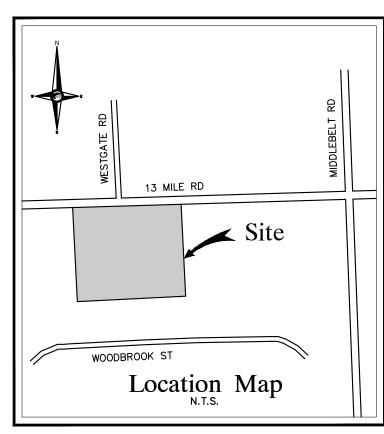
PROPOSED ASPHALT PAVEMENT

PAVING LEGEND

DATE ISSUED/REVISED 00-00-00 REVISED PER DRAWN BY: A. Wiseman **DESIGNED BY:** A. Wiseman APPROVED BY: P. Williams DATE: 09-12-2024 TC 600.00 PR. TOP OF CURB ELEVATION GU 600.00 PR. GUTTER ELEVATION SCALE: 1'' = 30'TW 600.00 PR. TOP OF WALK ELEVATION TP 600.00 PR. TOP OF PVMT. ELEVATION NFE JOB NO. FG 600.00 FINISH GRADE ELEVATION N423-02







ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

> NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NFE-ENGR.COM

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

BASE COURSE — MDOT BITUMINOUS MIXTURE HMA, 4E ML; SURFACE COURSE — MDOT BITUMINOUS MIXTURE HMA, 5E ML; BOND COAT — MDOT SS—1H EMULSION AT 0.10 GALLON PER SQUARE YARD; PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION. ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED. ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION. EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII. SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS. FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES

PAVING LEGEND

SEAL PATRICK J. WILLIAMS ENGINEER NO.
44351

AUGUST STANFORD

PROJECT The Tabernacle

CLIENT

The Baptist Manor 30301 W 13 Mile Farmington Hills, MI 48334

Contact: Ryan Doelle Phone: (248) 842-9106

baptistmanor.org PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills,

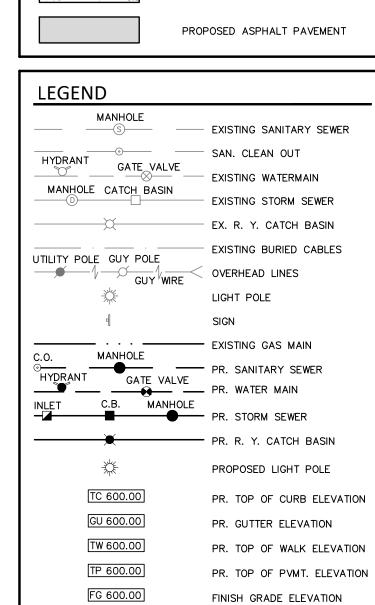
Oakland County, Michigan

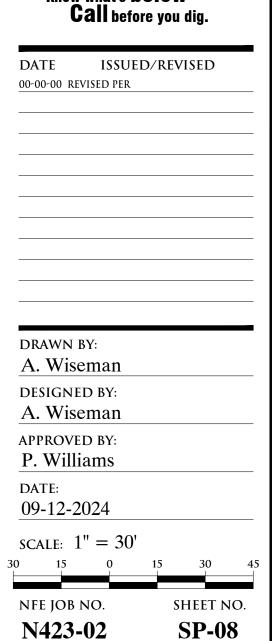
Email: r.doelle@the

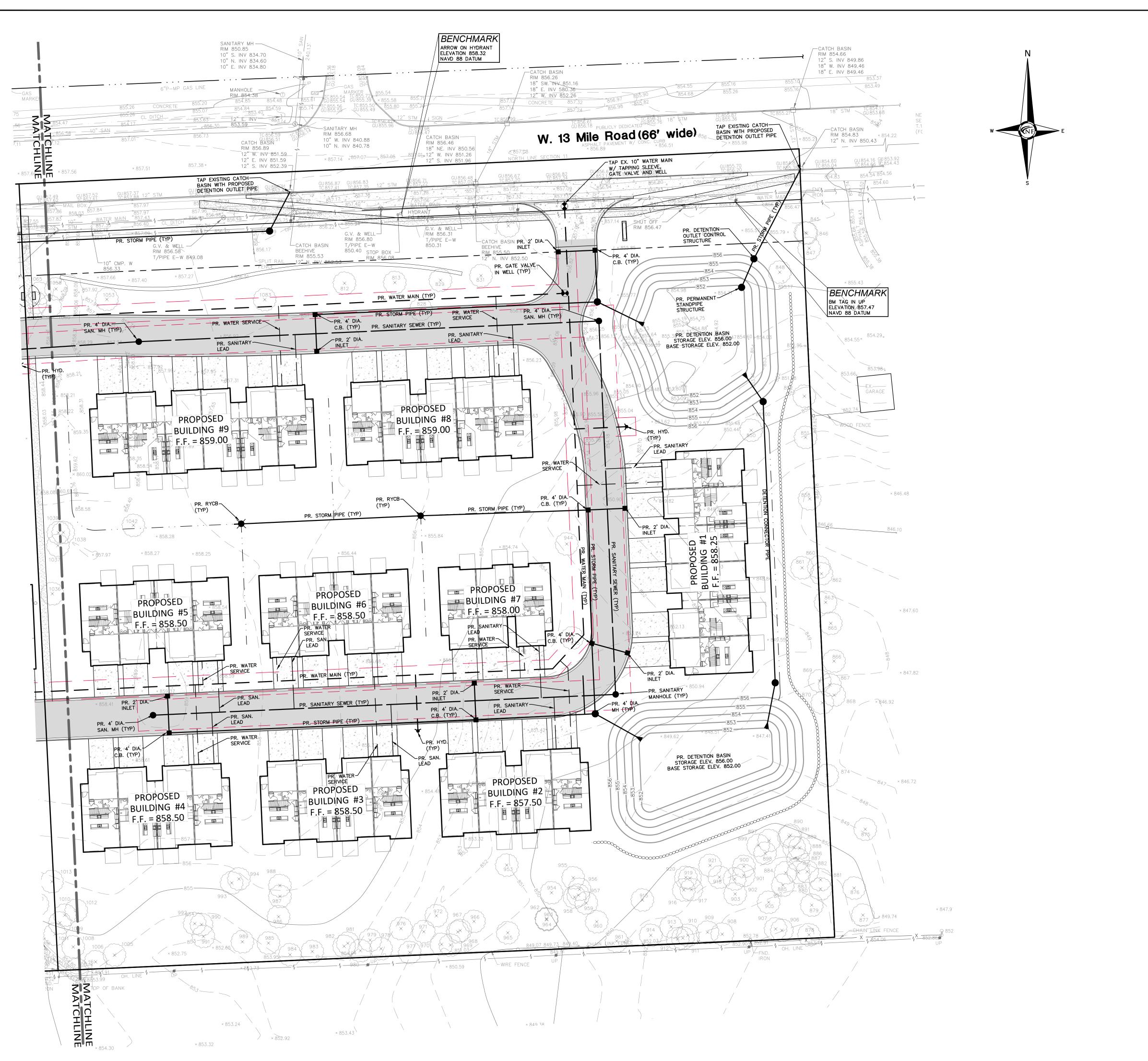
SHEET

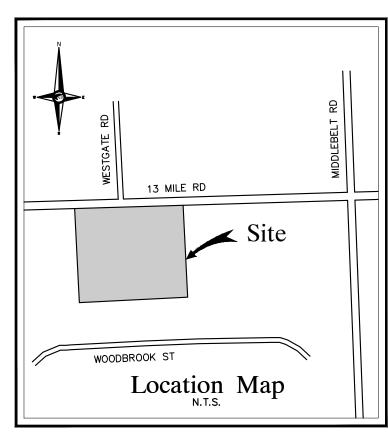
Utility Plan - West

Know what's below PROPOSED CONCRETE PAVEMENT



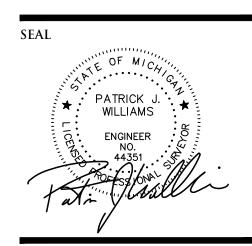








NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NFE-ENGR.COM



PROJECT
Mulberry Park
P.U.D.

CLIENT

Schafer Development 31400 Northwestern Highway, Suite H Farmington Hills, MI 48334

Contact: Spencer Schafer Tel. (248) 613-6262

PROJECT LOCATION

Part of the NE 1/4

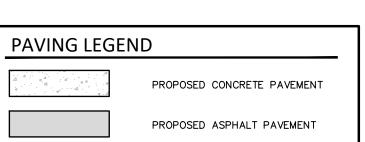
of Section 11

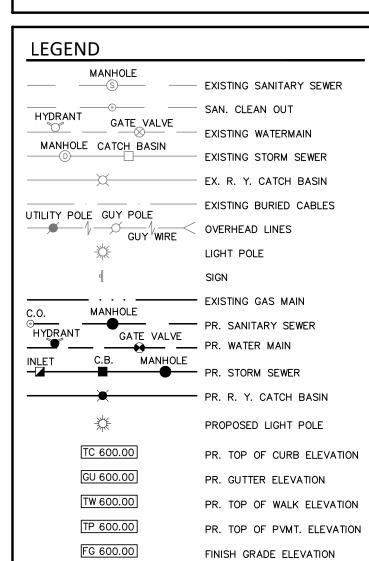
T.1N, R.9E

City of Farmington Hills,

Oakland County, Michigan

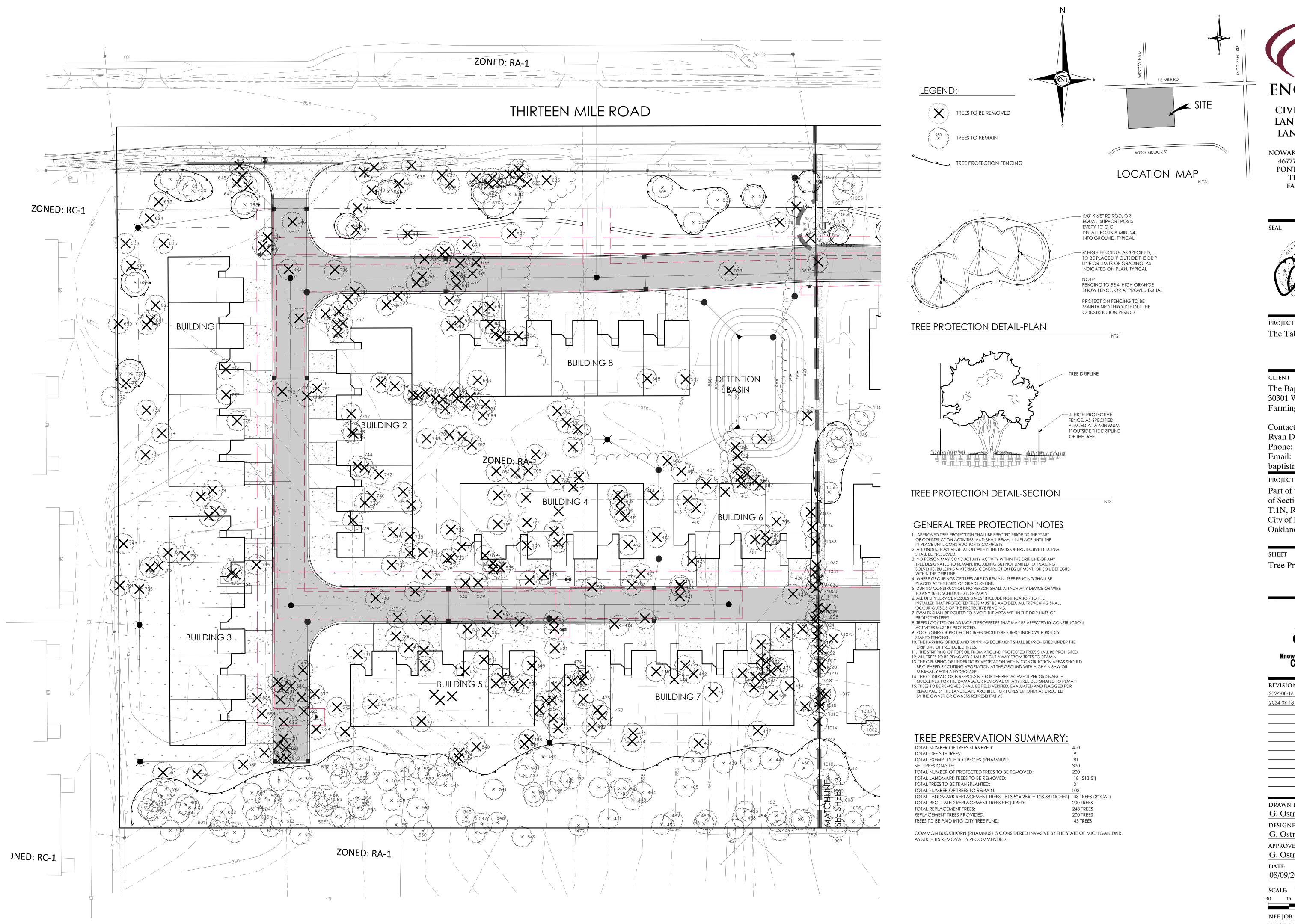
SHEET
Utility Plan - East







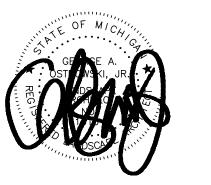
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ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257



PROJECT The Tabernacle

The Baptist Manor 30301 W 13 Mile Farmington Hills, MI 48334

Contact: Ryan Doelle Phone: (248) 842-9106 Email: r.doelle@the

baptistmanor.org

PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

SHEET

Tree Preservation Plan



REVISIONS 2024-08-16 ISSUED FOR SITE PLAN REVIEW 2024-09-18 ISSUED FOR SITE PLAN REVIEW

DRAWN BY: G. Ostrowski

DESIGNED BY: G. Ostrowski APPROVED BY:

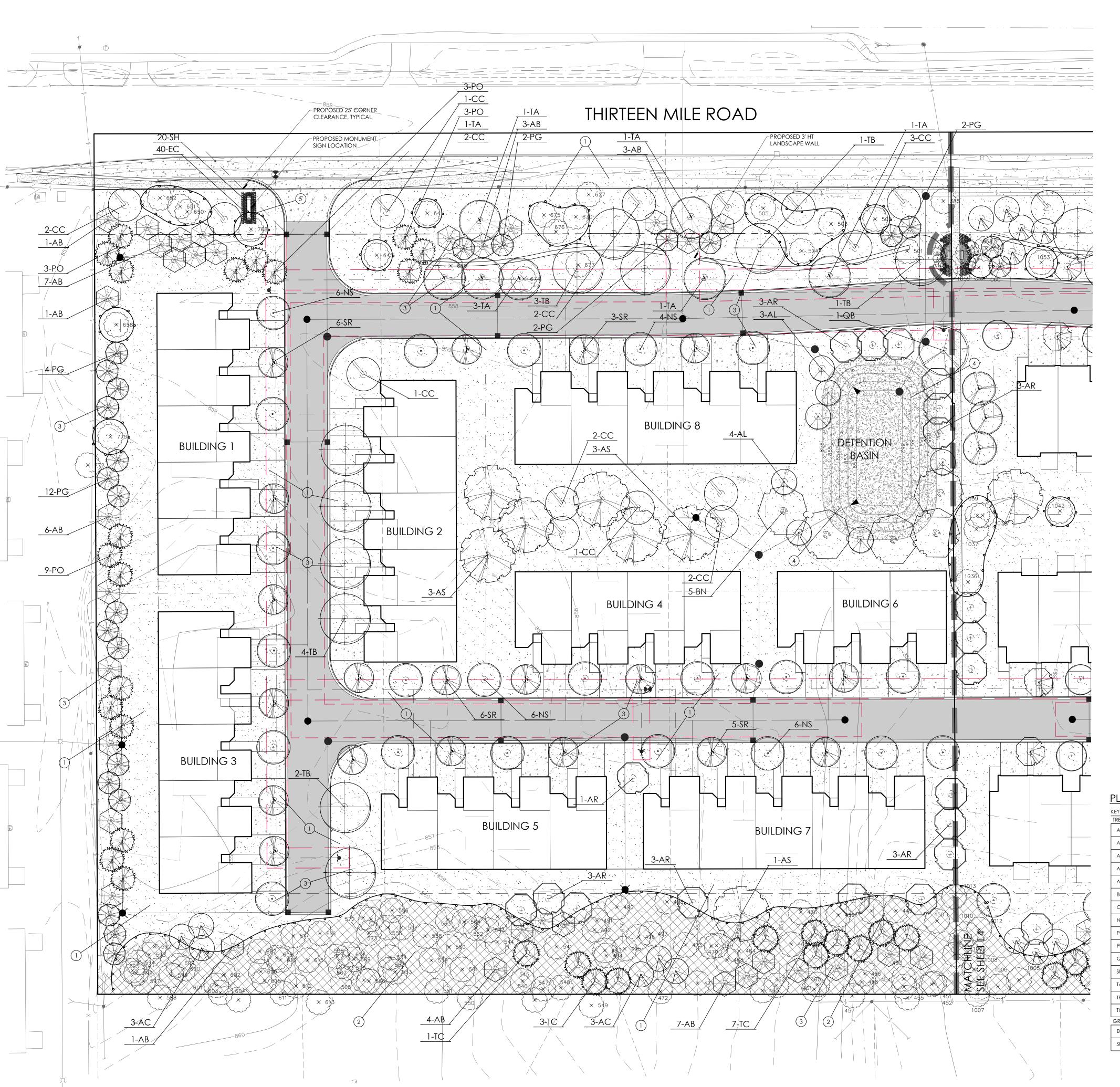
G. Ostrowski

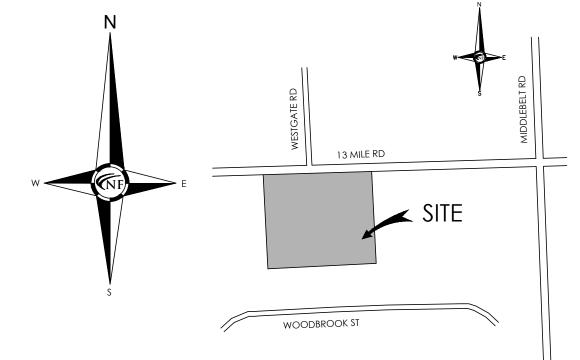
DATE: 08/09/2024

SCALE: 1'' = 30'

NFE JOB NO.

SHEET NO. N423-02





LOCATION MAP

LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFERYARD 2 CANOPY TREES / 100 L.F 4 SUBCANOPY TREES PER 100 L.F. 2 EVERGREEN TREES PER 100 L.F. 6 LARGE SHRUBS PER 100 L.F.

SOUTH PROPERTY LINE: 511.10 L.F. (THIS SHEET ONLY) MULTIPLIER: 0.6 (72' SETBACK)

CANOPY TREES: 5.11 X 2 = 10.22 CANOPY TREES X 0.6 = 6 CANOPY TREES REQUIRED SUBCANOPY: 5.11 X 4 = 20.44 SUBCANOPY TREES X 0.6 = 12 SUBCANOPY TREES REQUIRED EVERGREEN: 5.11 X 2 = 10.22 CANOPY TREES X 0.6 = 6 EVERGREENS REQUIRED LARGE SHRUBS: 5.11 X 6 = 30.66 SHRUBS X 0.6 = 18 SHRUBS REQUIRED

PROVIDED: 84 EXISTING TREES AND UNDERSTORY VEGETATION TO REMAIN TO FULFILL THE BUFFERYARD REQUIREMENTS

TREE REPLACEMENT REQUIREMENTS

REQUIRED: 243 TREES REQUIRED PROVIDED: 200 TREES PROVIDED, 43 TREES TO BE PAID INTO CITY TREE FUND

GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY

- GOVERN QUANITIES, CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.

 THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK, ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

 THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTACELE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- 4. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
 5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.

- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
 ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE
 GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1)
 YEAR FOLLOWING PLANTING.
 ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST
 RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
 CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO
 SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS
 AND A DEPTH OF 3" IN ALL LAWN AREAS.
 PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON-SITE. SOIL
 SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.
 SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE
 BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED
 RATES.
- RATES.

 11. AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.

 12. ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PIECES ON INCONSISTENT SIZE.
- MATERIAL, AND PIECES ON INCONSISTENT SIZE.

 13. NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATI

 14. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN
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 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT
 MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
 THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT
 TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF
 THE PLANS AND/OR SPECIFICATIONS.
 THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON
 PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT
 LIMITS, FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS
 DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR
 GREATER CONDITION.

- 18. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.

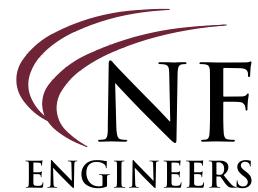
 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND

KEY LEGEND

- 1) TYPICAL SEEDED LAWN AREAS, SOWN ON 3" TOPSOIL
- (2) RESTORE DISTURBED UNDERSTORY AREA W/ SHORT WOODLAND SEED
- (3) 4' DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- (4) SEDGE MEADOW SEED MIX, SOWN AT A RATE OF 40 PLS LBS/ACRE
- 5 PROPOSED DEVELOPMENT SIGNAGE

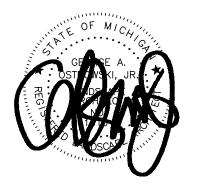
PLANT SCHEDULE

ΚEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AB	33	Abies balsamea Balsam Fir	8' HT	SEE PLAN	B&B	FULL TO GROU
AC	6	Abies balsamea phaneolepi Canaan Fir	8' HT	SEE PLAN	B&B	FULL TO GROU
AR	16	Acer rubrum 'Armstrong' Armstrong Red Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
AS	7	Acer saccharum 'Legacy' Legacy Sugar Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
AL	7	Amelanchier laevis Allegheny Serviceberry	6-8' HT	SEE PLAN	B&B	CLUMP FORM
BN	5	Betula nigra River Birch	12' HT	SEE PLAN	B&B	CLUMP FORM
CC	14	Cercis canadensis Eastern Redbud	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
NS	22	Nyssa sylvatica 'Green Gables' Green Gable Black Gum	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
PG	22	<u>Picea glauca</u> 'Densata' Black Hills Spruce	8' HT	SEE PLAN	B&B	FULL TO GROU
РО	18	<u>Picea omorika</u> 'Bruns' Bruns Serbian Spruce	8' HT	SEE PLAN	B&B	FULL TO GROU
QB	1	Quercus bicolor Swamp White Oak	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
SR	20	Syringa reticulata 'Ivory Silk' Ivory Silk Tree Lilac	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
TA	7	Tilia americana 'McKSentry' American Sentry Linden	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
ТВ	11	<u>Tilia cordata</u> 'Baileyii' <u>Shamrock Little Leaf Linden</u>	3" CAL	SEE PLAN	B&B	FULLY BRANCHED
TC	11	Tsuga canadensis Eastern Hemlock	8' HT	SEE PLAN	B&B	FULL TO GROU
GROUN	DCOVERS/	PERENNIALS				
EC	40	Echinacea 'Crazy Pink' Crazy Pink Coneflower	1 GAL	16" OC	CONT	WELL-ROOTED
SH	20	Sporobolus heterolepis 'Tara' Tara Prairie Dropseed	2 GAL	24" OC	CONT	WELL-ROOTED



CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257



PROJECT The Tabernacle

CLIENT The Baptist Manor 30301 W 13 Mile

Farmington Hills, MI 48334

Contact: Ryan Doelle Phone: (248) 842-9106 Email: r.doelle@the

baptistmanor.org PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E

City of Farmington Hills, Oakland County, Michigan SHEET

Landscape Plan

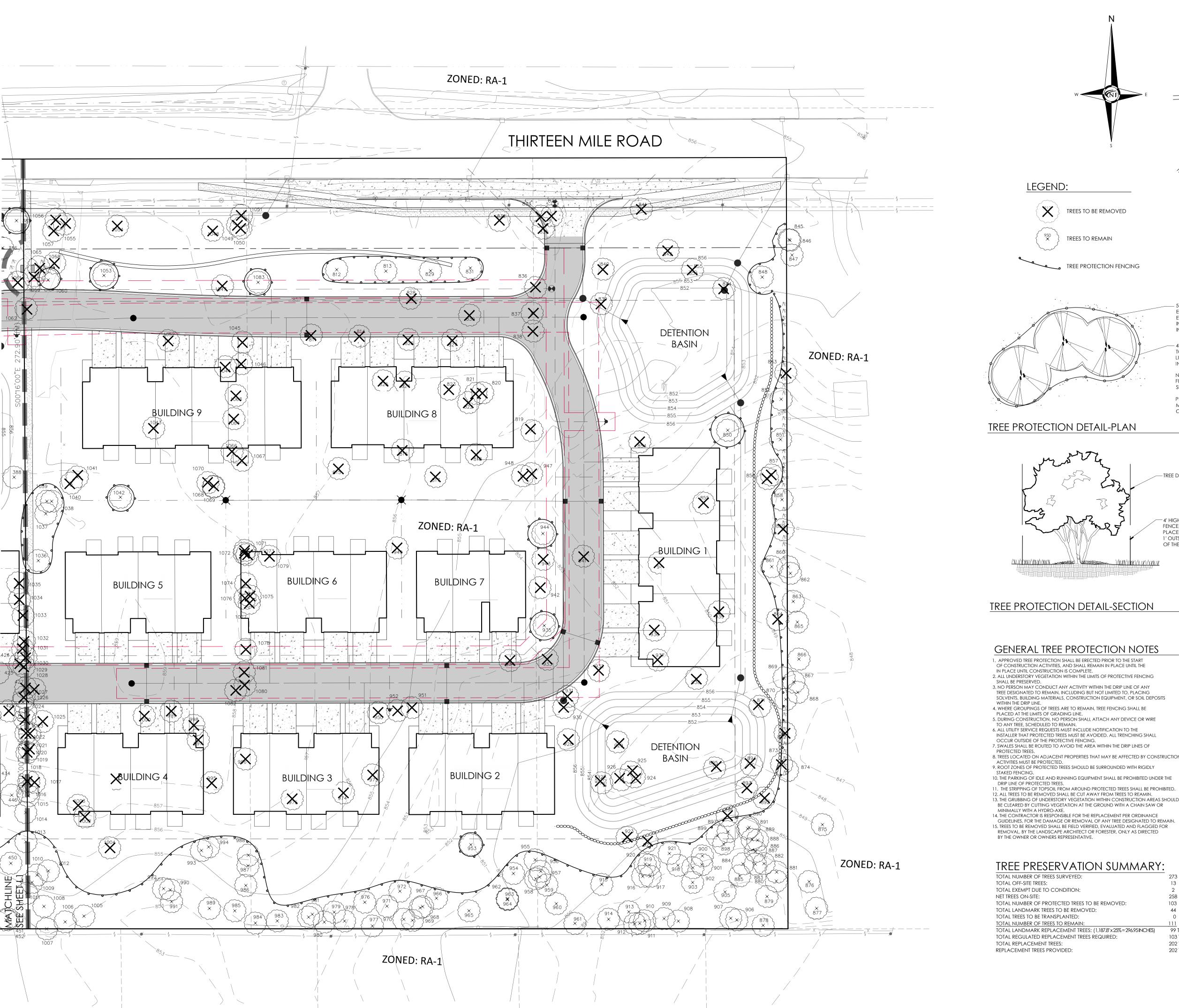
Know what's **below Call** before you dig. REVISIONS 2024-08-16 ISSUED FOR SITE PLAN REVIEW 2024-09-18 ISSUED FOR SITE PLAN REVIEW

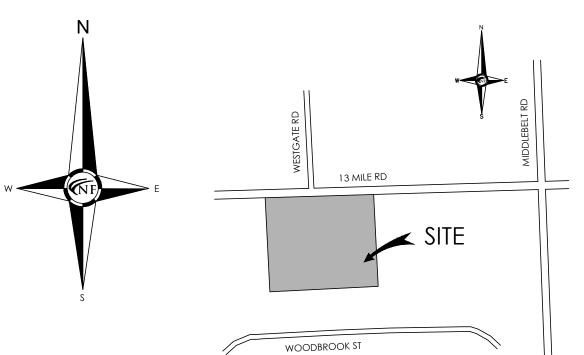
DRAWN BY: G. Ostrowski **DESIGNED BY:** G. Ostrowski APPROVED BY: G. Ostrowski DATE:

08/09/2024 SCALE: 1'' = 30'

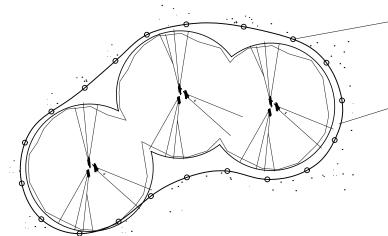
NFE JOB NO.

SHEET NO. N423-02





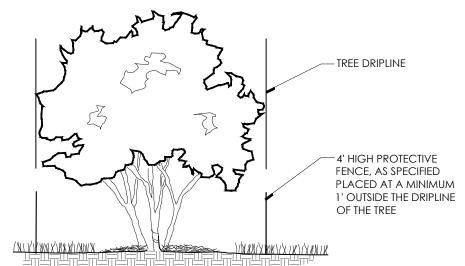
LOCATION MAP



– 5/8" X 6'8" RE-ROD, OR EQUAL, SUPPORT POSTS EVERY 10' O.C. INSTALL POSTS A MIN. 24" INTO GROUND, TYPICAL

— 4' HIGH FENCING, AS SPECIFIED, TO BE PLACED 1' OUTSIDE THE DRIP LINE OR LIMITS OF GRADING, AS INDICATED ON PLAN, TYPICAL

FENCING TO BE 4' HIGH ORANGE SNOW FENCE, OR APPROVED EQUAL PROTECTION FENCING TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD



PROTECTED TREES.

8. TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION

10. THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.

11. THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.

12. ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REAMIN.

13. THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD

14. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE

TOTAL NUMBER OF TREES SURVEYED:	273
TOTAL OFF-SITE TREES:	13
TOTAL EXEMPT DUE TO CONDITION:	2
NET TREES ON-SITE:	258
TOTAL NUMBER OF PROTECTED TREES TO BE REMOVED:	103
TOTAL LANDMARK TREES TO BE REMOVED:	44 (1,187.8")
TOTAL TREES TO BE TRANSPLANTED:	0
TOTAL NUMBER OF TREES TO REMAIN:	111
TOTAL LANDMARK REPLACEMENT TREES: (1,187.8'x25%=296.95 INCHES)	99 TREES (3" CAL)
TOTAL REGULATED REPLACEMENT TREES REQUIRED:	103 TREES
TOTAL REPLACEMENT TREES:	202 TREES
REPLACEMENT TREES PROVIDED:	202 TREES



CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257



PROJECT Mulberry Park Townhouses

CLIENT

Shafer Development 31400 Northwestern Hwy Suite H Farmington Hills, MI 48334 Contact: Steve Shafer Phone: (248) 613-6262

PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

SHEET

Tree Preservation Plan



REVISIONS

2024-08-16 ISSUED FOR SITE PLAN REVIEW 2024-09-18 ISSUED FOR SITE PLAN REVIEW

DRAWN BY: G. Ostrowski

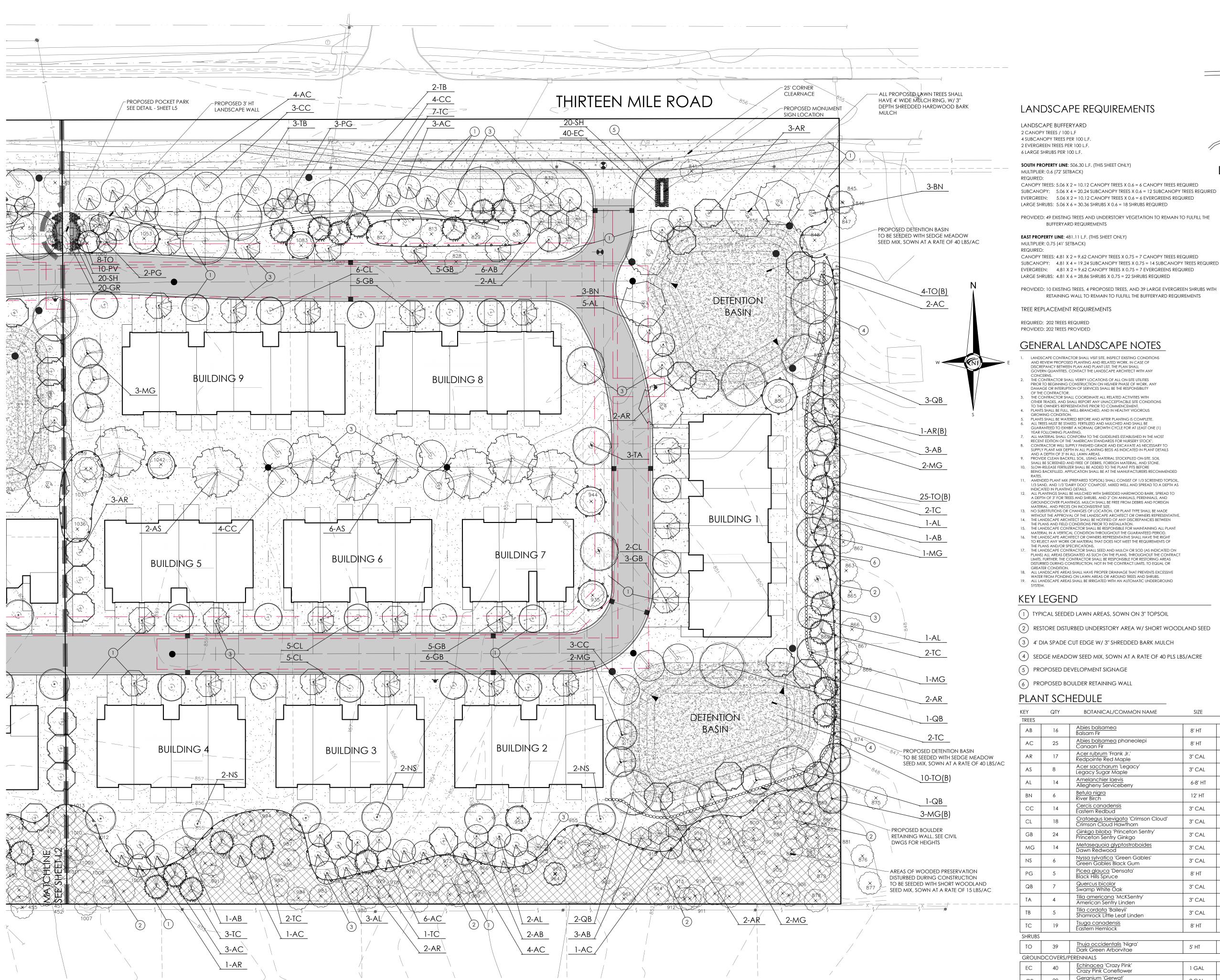
DESIGNED BY: G. Ostrowski APPROVED BY: G. Ostrowski

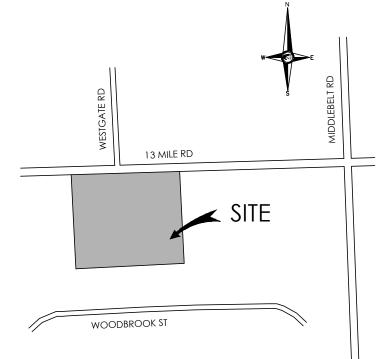
DATE: 08/09/2024

SCALE: 1'' = 30'

NFE JOB NO. N423-03

SHEET NO.





LOCATION MAP

LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFERYARD 2 CANOPY TREES / 100 L.F 4 SUBCANOPY TREES PER 100 L.F. 2 EVERGREEN TREES PER 100 L.F.

SOUTH PROPERTY LINE: 506.30 L.F. (THIS SHEET ONLY)

MULTIPLIER: 0.6 (72' SETBACK) CANOPY TREES: 5.06 X 2 = 10.12 CANOPY TREES X 0.6 = 6 CANOPY TREES REQUIRED

LARGE SHRUBS: 5.06 X 6 = 30.36 SHRUBS X 0.6 = 18 SHRUBS REQUIRED PROVIDED: 49 EXISTING TREES AND UNDERSTORY VEGETATION TO REMAIN TO FULFILL THE

BUFFERYARD REQUIREMENTS EAST PROPERTY LINE: 481.11 L.F. (THIS SHEET ONLY)

MULTIPLIER: 0.75 (41' SETBACK)

CANOPY TREES: 4.81 X 2 = 9.62 CANOPY TREES X 0.75 = 7 CANOPY TREES REQUIRED SUBCANOPY: 4.81 X 4 = 19.24 SUBCANOPY TREES X 0.75 = 14 SUBCANOPY TREES REQUIRED EVERGREEN: 4.81 X 2 = 9.62 CANOPY TREES X 0.75 = 7 EVERGREENS REQUIRED LARGE SHRUBS: 4.81 X 6 = 28.86 SHRUBS X 0.75 = 22 SHRUBS REQUIRED

PROVIDED: 10 EXISTING TREES, 4 PROPOSED TREES, AND 39 LARGE EVERGREEN SHRUBS WITH RETAINING WALL TO REMAIN TO FULFILL THE BUFFERYARD REQUIREMENTS

TREE REPLACEMENT REQUIREMENTS

REQUIRED: 202 TREES REQUIRED

GENERAL LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY

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 3. THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTACBLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.

 4. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS CROWNING CONDITION.

- GROWING CONDITION.

 5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.

 6. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.

 7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".

 8. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 3" IN ALL LAWN AREAS.

 9. PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.

 10. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED RATES.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
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 13. NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE APCHITECT OR OWNERS PERPESSINTATIVE.
- WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATI
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 THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.

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 MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.

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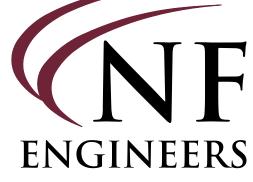
 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM

KEY LEGEND

- 1) TYPICAL SEEDED LAWN AREAS, SOWN ON 3" TOPSOIL
- (2) RESTORE DISTURBED UNDERSTORY AREA W/ SHORT WOODLAND SEED
- (3) 4' DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- (4) SEDGE MEADOW SEED MIX, SOWN AT A RATE OF 40 PLS LBS/ACRE
- (5) PROPOSED DEVELOPMENT SIGNAGE
- (6) PROPOSED BOULDER RETAINING WALL

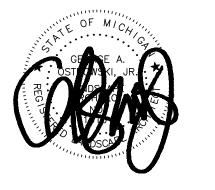
PLANT SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AB	16	Abies balsamea Balsam Fir	8' HT	SEE PLAN	B&B	FULL TO GROUND
AC	25	Abies balsamea phaneolepi Canaan Fir	8' HT	SEE PLAN	B&B	FULL TO GROUND
AR	17	Acer rubrum 'Frank Jr.' Redpointe Red Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEA
AS	8	Acer saccharum 'Legacy' Legacy Sugar Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
AL	14	Amelanchier laevis Allegheny Serviceberry	6-8' HT	SEE PLAN	B&B	CLUMP FORM
BN	6	Betula nigra River Birch	12' HT	SEE PLAN	B&B	CLUMP FORM
СС	14	Cercis canadensis Eastern Redbud	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
CL	18	Crataegus laevigata 'Crimson Cloud' Crimson Cloud Hawthorn	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
GB	24	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
MG	14	Metasequoia glyptostroboides Dawn Redwood	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
NS	6	Nyssa sylvatica 'Green Gables' Green Gables Black Gum	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
PG	5	<u>Picea glauca</u> 'Densata' Black Hills Spruce	8' HT	SEE PLAN	B&B	FULL TO GROUND
QB	7	Quercus bicolor Swamp White Oak	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
TA	4	Tilia americana 'McKSentry' American Sentry Linden	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
ТВ	5	Tilia cordata 'Baileyii' Shamrock Little Leaf Linden	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEAD
TC	19	Tsuga canadensis Eastern Hemlock	8' HT	SEE PLAN	B&B	FULL TO GROUND
SHRUBS			•	•		•
TO	39	Thuja occidentalis 'Nigra' Dark Green Arborvitae	5' HT	5' OC	B&B	WELL-ROOTED
GROUNI	DCOVERS/	PERENNIALS	•	•	•	
EC	40	Echinacea 'Crazy Pink' Crazy Pink Coneflower	1 GAL	16" OC	CONT	WELL-ROOTED
GR	20	Geranium 'Gerwat' Rozanne Geranium	2 GAL	24" OC	CONT	WELL-ROOTED
PV	10	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	2 GAL	24" OC	CONT	WELL-ROOTED
SH	40	Sporobolus heterolepis 'Tara' Tara Prairie Dropseed	2 GAL	24" OC	CONT	WELL-ROOTED



CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257



PROJECT Mulberry Park Townhouses

CLIENT

Shafer Development 31400 Northwestern Hwy Suite H Farmington Hills, MI 48334 Contact: Steve Shafer Phone: (248) 613-6262

PROJECT LOCATION Part of the NE 1/4 of Section 11 T.1N, R.9E City of Farmington Hills, Oakland County, Michigan

SHEET Landscape Plan

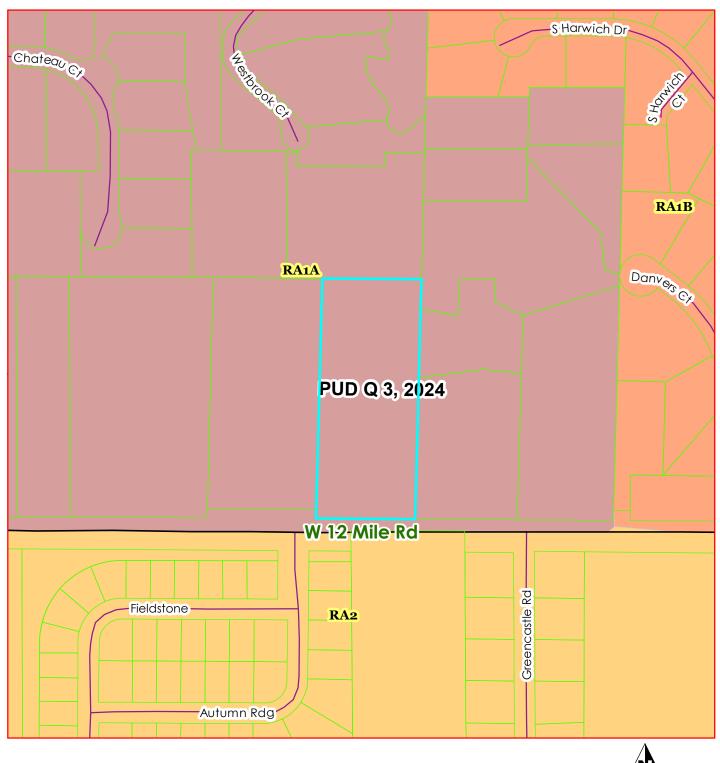


REVISI	ONS		
2024-08-	16 ISSUED F	OR SITE PLA	N REV
2024-09-	18 ISSUED F	OR SITE PLA	N REV
DRAWI			
	N BY: strowsk	i	
G. Os		i	

APPROVED BY: G. Ostrowski DATE: 08/09/2024 SCALE: 1'' = 30'

SHEET NO. NFE JOB NO. N423-03

PUD Qualification 3, 2024, RA-1A 29150 Twelve Mile Rd., 12-376-035, Twenty Eight (28) two story townhomes.





RA-1B One Family Residential District Minor roads RA-2 One Family Residential District

Zoning Districts Zoning Districts

RA-1A One Family Residential District



290

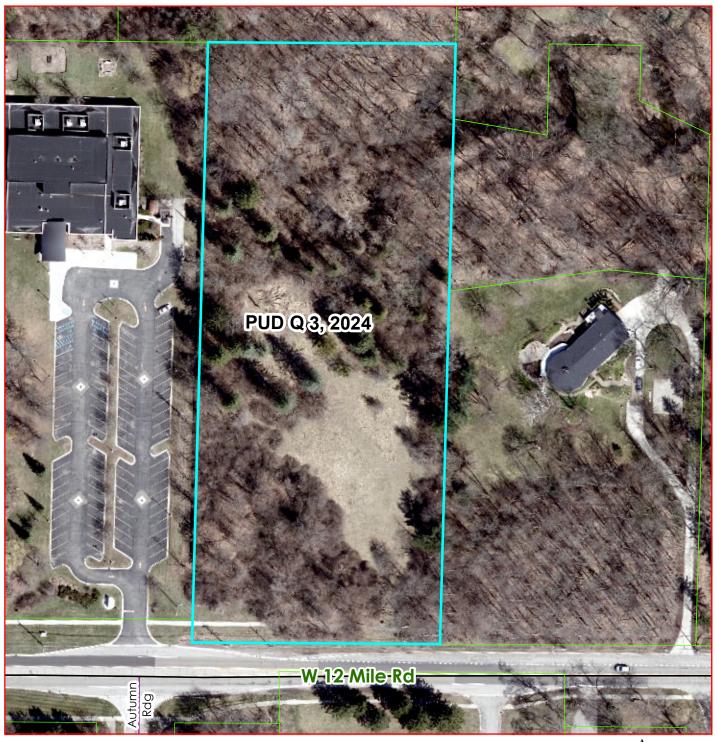
SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

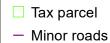
FEET



PUD Qualification 3, 2024, RA-1A 29150 Twelve Mile Rd., 12-376-035, Twenty Eight (28) two story townhomes.



Planning Division





SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

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Date: August 29, 2024

To: City of Farmington Hills, Planning Office

From: Schafer Development, LLC

CC: Yousif Property - Qualification for PUD Option

PUD Q 3, 2024

Received

AUG 29 2024

City of Farmington Hills Planning Dept,

Qualification for PUD Option - Yousif Property

Schafer Development is formally requesting that the City of Farmington Hills consider an application for a Planned Unit Development (PUD) for the property located at 29150 W. 12 Mile Road (the "Subject Property"). Along with this narrative, Schafer Development is providing the required submittal materials prepared in accordance with the Qualification for PUD Option Application:

- Eight (8) 24" x 36" copies of Schematic Land Use Plan
- One (1) electronic version of the Land Use PDF Formal emailed to the Planning Office
- Fifteen (15) 11" x 17" reduced copies of Land Use Plan
- Proof of Ownership Title Commitment

Location, Property Identification and Authorization:

The Subject Property is located on the north side of 12 Mile Road, east of Middlebelt Road and adjacent to the AIM High School. The Subject Property measures *4.54 Acres*. The property address and Tax ID number is listed below:

29150 W. 12 Mile Road (Parcel I.D. # 23-11-201-004)



31400 Northwestern Highway, Suite H, Farmington Hills, MI 48334



The property is under contract via a Purchase Agreement between **Schafer Development, LLC** (the "Contract Purchaser") and **Mike Yousif** (the "Owner").

Homeowners' Association Outreach - Woodcreek

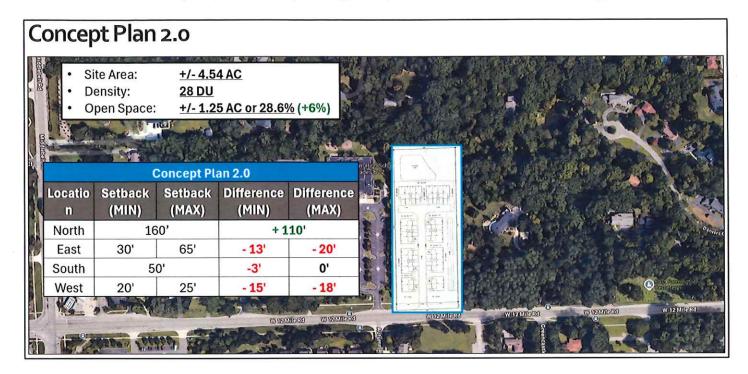
Schafer Development met with the President of the *Woodcreek* HOA on two occasions (on May 28th, 2024 & August 8th, 2024) to solicit feedback from the surrounding neighborhood on the Concept Plan.

- The original Concept Plan featured 30 2-Story for-sale Townhomes on the property.
 - O There were discussions to reduce density in order to provide a greater setback from (i) the rear of the northernmost cul-de-sac units to the northern property line and (ii) the single-family residence abutting the eastern property line.





- The revised Concept Plan features 28 2-Story for-sale Townhomes on the property.
 - There will be larger townhomes along the endcaps of the building to appeal to a variety of demographics.
 - o This plan was shared at the Woodcreek Board meeting and received a favorable recommendation over the prior plan iteration, due to greater perimeter setbacks from the existing residential homes.



Proposed Townhome Product

The Subject Property will feature for-sale 2-story townhome dwellings. The residences will feature 2- and 3-bedrooms, 2-bathrooms and a 2-car attached garage in the 2,000 square foot range. The anticipated primary target market is first-time homebuyers, including but not limited to, recent graduates, singles, young couples or families – looking to establish roots in the City of Farmington Hills. We envision that many young families with school-aged children will be attracted to the townhome community. This will be an attainable housing solution for this demographic, who has long been locked out of the new single-family housing market due to rising sales prices and limited inventory.

Criteria for Qualification - 34.320 Planned Unit Development

2.E. The Planned Unit Development must meet, as a minimum, one of the following objectives of the city:

The Applicant has provided responses to four (4) of the PUD objectives:

 To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.



• Response: The Applicant has met with the HOA President from the Woodcreek subdivision, where it was determined the most important design feature of the Concept Plan was the proposed perimeter setback to their subdivision – particularly the setback to the northern shared property line. Concept Plan 2.0 has provided a substantial 160' buffer to Woodcreek which is well above the RA-1A Ordinance requirements, which requires a minimum rear yard setback of 35'. To the east, Concept Plan 2.0 has provided a variable 35' – 43' buffer to the Levy residence which meets RA-1A Ordinance requirements.

iii. To accept dedication or set aside open space areas in perpetuity.

- Response: During formal engineering design, the Applicant will create a buffer area along the
 northern and eastern property lines that will be dedicated as an Open Space Preservation Area in
 perpetuity. Where existing trees will need to be removed because of construction of the
 stormwater management basin, the Applicant will endeavor to work with adjacent homeowner to
 determine the best locations to plant replacement trees—whether they be on-site or on adjacent
 homeowners' lots.
- iv. To provide alternative uses for parcels which can provide transition buffers to residential areas.
 - **Response:** The proposed townhome community provides a buffer from the more intense school use to the west and single-family residential uses to the north and northeast of the site.
- v. To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
 - Response: A desired feature based on feedback from the Woodcreek HOA is a substantial northern
 perimeter setback. The Applicant has designed multiple Concept Plans to craft a plan that proposes
 the greatest possible setback to Woodcreek and the mature foliage to the north, while also creating
 a unique townhome development capable of producing an attractive for-sale community.

Existing Zoning and Use:

The property is currently zoned **RA-1A One Family Residential District** and is master planned for **Single-Family Residential**. The adjacent property owner zoning districts are listed below:

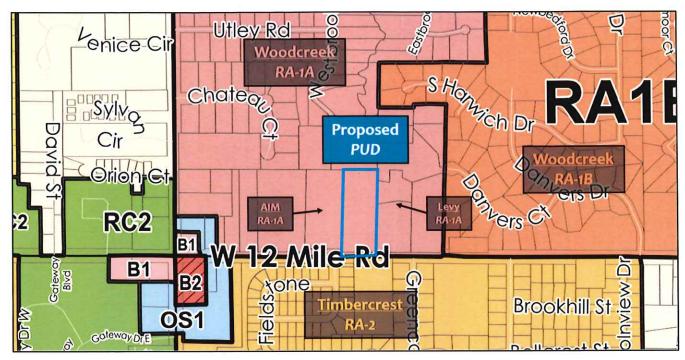
To the North, Woodcreek is a single-family residential community zoned RA-1A and RA-1B.

To the East, the Levy residence is a single-family residence zoned RA-1A.

To the South, *Timbercrest* is a single-family condominium community zoned RA-2.

To the West, the AIM High School Property is a private school use zoned RA-1A.





City of Farmington Hills - Zoning Map (06.2023)

To our immediate west, there are more intense office, commercial and higher density residential developments. As you go further east of Middlebelt Road, there are various single-family communities on lots ranging from 0.34 AC – +1 AC. We believe there is strong justification for a PUD at the Subject Property, as it will result in a transitional housing type in between these more intense commercial uses and the adjacent single-family communities. The proposed townhomes will bring a much-needed form of housing to the young / first-time homebuyer demographic.

Conclusion

We thank you in advance for your consideration of the <u>Qualifications for PUD Option</u> Application. Schafer Development has a longstanding history within the City, and we look forward to working on another development opportunity within the community!

Sincerely,

The Schafer Development Team

Steven Schafer

P: (248) 613-6262

E: steve@schafer-dev.com

Spencer Schafer

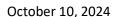
P: (248) 914-7499

E: spencer@schafer-dev.com

Aaron Schafer

P: (248) 660-4454

E: aaron@schafer-dev.com





Farmington Hills Planning Commission 31555 W 11 Mile Rd Farmington Hills, MI 48336

PUD Qualification Review

Case: PUD 3, 2024

Site: 29150 Mile (Parcel ID 22-23-376-035)

Applicant: Schafer Development, LLC

Application Date: 8/29/2024

Zoning: RA-1A One Family Residential District (33,000 square feet)

We have completed a review of the application for PUD Qualification referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



SUMMARY OF FINDINGS

Existing Conditions

- 1. **Zoning.** The site is currently zoned RA-1A, which has a minimum lot size of 33,000 square feet.
- 2. **Existing site.** The site is 4.55 acres and vacant. The site has a small amount of wetland and surface water in the northeastern corner, and is heavily wooded.
- 3. Adjacent Properties.

Direction	Zoning	Land Use
North	RA-1A	Single family homes
East	RA-1A	Single family home
South	RA-2	Single family home & church
West	RA-1A	Private school

4. **Site configuration and access.** The site is proposed to be accessed from a single road to 12 Mile Rd.

Project Summary

The applicant proposes 28 units of two-story attached townhouses in eight buildings, four of which include four units, and two of which include two units. All units have two-car garages. The access street is a t-shaped road stubbed to both side property lines; Engineering and Fire have expressed concerns about the concept design, and if this site is qualified for a PUD, discussions should be held with these agencies prior to submitting a final site plan.

PUD Qualification

Under Section 34-3.20.2, the Planning Commission may make a determination that the site qualifies for a PUD based on the following criteria and procedures.

Criteria for qualifications. In order for a zoning lot to qualify for the Planned Unit Development option, the zoning lot shall either be located within an overlay district or other area designated in this chapter as qualifying for the PUD option, or it must be demonstrated that all of the following criteria will be met as to the zoning lot:

- A. The PUD option may be effectuated in any zoning district.
- B. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity or building or use not normally permitted shall result in an improvement to the public health, safety and welfare in the area affected. The proposed use—townhouses—is not permitted in the RA-1A district. However, this proposed use may be considered as a deviation from the ordinance as a part of the PUD. Density is consistent with the RC-1 district.
- C. The PUD shall not be utilized in situations where the same land use objectives can be accomplished by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PUD application. Asserted financial problems shall be substantiated with appraisals of the property as currently regulated and as proposed to be regulated.

Date: October 10, 2024

Project: 12 Mile Rd – PUDQ3, 2024

Page: 3

The applicant is proposing density consistent with the RC-1 district. Rezoning to RC-1 may not be appropriate for this site due to inconsistencies with the Future Land Use Map in the Master Plan. The site is master planned for single-family development in the 2024 Master Plan at a low density, consistent with the RA-1A and RA-1B districts.

D. The Planned Unit Development option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those contemplated in the Future Land Use Plan unless the proponent can demonstrate to the sole satisfaction of the city that such added loads will be accommodated or mitigated by the proponent as part of the Planned Unit Development.

The number of units proposed on the site clearly exceeds the number of single-family units that could be built under RA-1A zoning (28 versus 6). The PC may consider whether a traffic study is necessary to project demand from a larger development than typically permitted in this location.

- E. The Planned Unit Development must meet, as a minimum, one of the following objectives of the city. The applicant has provided responses to four of the PUD objectives.
 - To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.

The applicant notes that the northern portion of the side is reserved as open space and a detention basin, and that this design was chosen to separate the units from single family development to the north.

- ii. To permanently establish land use patterns which are compatible or which will protect existing or planned uses.
- iii. To accept dedication or set aside open space areas in perpetuity.

The applicant cites permanent buffers along the northern and eastern property lines.

iv. To provide alternative uses for parcels which can provide transition buffers to residential areas.

The applicant proposes that the development would provide a transition between single-family housing and the school use to the west.

v. To guarantee the provision of a public improvement which could not otherwise be required that would further the public health, safety, or welfare, protect existing or future uses from the impact of a proposed use, or alleviate an existing or potential problem relating to public facilities.

The applicant primarily cites the dedication of a large area in the north of the site as open space.

Date: October 10, 2024 Project: 12 Mile Rd – PUDQ3, 2024

Page: 4

vi. To promote the goals and objectives of the Master Plan for Land Use.

- vii. To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
- viii. To bring about redevelopment of sites where an orderly change of use is determined to be desirable.

Though only one objective must be met by the plan, the applicant's narrative addresses objectives i, iii, iv, and v.

F. The PUD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by requesting a zoning change or variance.

An increase in density is sought by the applicant. Given that the proposed use is not permitted in the underlying district, it appears that the request is not made solely to avoid a variance.

Conceptual Site Plan & Use:

- 1. **Summary of Proposed Use.** The applicant has submitted a conceptual site plan. The plan proposes 28 units in eight buildings, four of which include four units, and two of which include two units. All units have two-car garages. Access to the site is from 12 Mile Road via a t-shaped road that stubs to the east and west property lines. As noted earlier, Engineering and Fire have concerns with the design of this road on the concept plan.
- 2. **Density.** The parcel is 198,198 square feet. Density is determined by the number of rooms. To determine the number of rooms, the following standard (Section 34-3.5.2.F.) is applied:

Two-bedroom unit: 3 rooms
Three-bedroom unit: 4 rooms

The applicant proposes 28 units, likely with 16 three-bedroom units and 12 two-bedroom units (based on the configuration of the buildings and applicant's representation that the corner units would be larger), for a total of 100 rooms, based on the standard above. The following densities are permitted under conventional zoning:

District	Lot Area/sq ft	Rooms permitted
RC-1	1,900	104 rooms
RC-2	1,400	141 rooms
RC-3	1,050	188 rooms

The proposed density is consistent with the RC-1 district. Under RA-1A zoning, the maximum number of units available is 6.

3. Master Plan. The master plan's Future Land Use map designates this site as Single Family, low density, which is consistent with the RA-1A district. It is not part of a Special Planning Area.

4. **Dimensional Standards of the RA-1A district (34-3.1.4.E).** The applicant is seeking relief from the height limit of the district to permit a building height of 41 feet rather than the RA-1-permitted 30 feet.

Standard	RA-1 Requirement	Proposed
Lot Size	33,000 sq ft	4.55 acres
Lot width	140 ft	286 ft
Lot coverage	35%	Not specified on concept plan
Front setback	50 ft	50 ft
Rear setback	35 ft	160 ft
Side setback (east)	15 ft	30 ft
Side setback (west)	15 ft	20 ft
Building height	Max. 30 ft	Not specified on concept plan

5. **Parking.** The applicant has proposed parking consistent with the requirements for 2-bedroom and 3-bedroom multi-family units.

Standard	Required Parking	Proposed
		Each proposed townhouse unit
Two BR Unit	2 spaces/unit	includes a two-car garage and 22'
Three BR Unit	2.5 spaces/unit	driveway strip, or space for four
		vehicles

- 6. **Circulation.** There is no pedestrian circulation within the development or connection to the public sidewalk along 12 Mile Road.
- 7. **Landscaping (34-5.14) and Screening (34-5.14)**. An area designated as recreation/open space should be provided as a part of the schematic landscape plan required at final PUD determination.
- 8. Relief Sought from Ordinance Standards
 - a. Permit attached single-family at RC-1 density.

We are available to answer questions.

Respectfully,

Giffels Webster

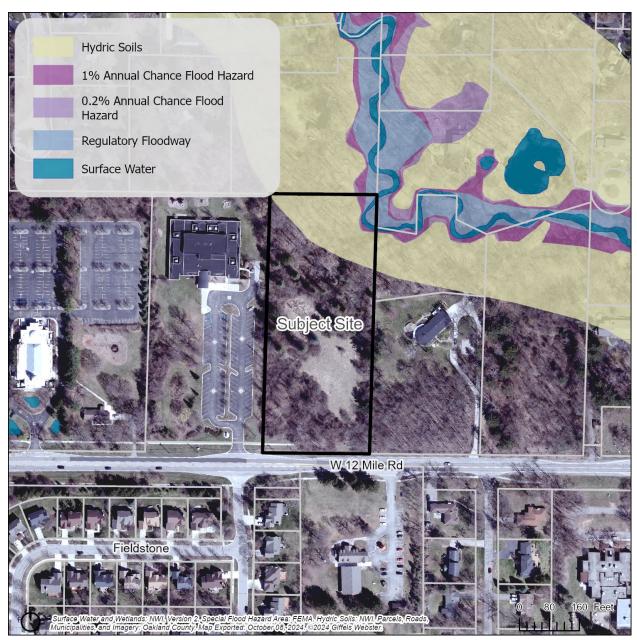
Joe Tangari, AICP Principal Planner



Current zoning



Master Plan designations for this area. See discussion above.



Wetland map





DEPARTMENT OF PUBLIC SERVICES JACOB RUSHLOW, P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE:

October 8, 2024

TO:

Planning Commission

FROM:

James Cubera, City Engineer

SUBJECT:

Qualification for PUD 3-2024

29150 Twelve Mile Road

22-23-12-376-035

PJ #11-23-89

This office has performed a preliminary review of the above referenced PUD Qualification plan submitted to the Planning Department on August 29, 2024. The plan has limited information. Our preliminary comments are therefore subject to change and are as follows:

1. A 2" public sanitary sewer exists on the south side of 12 Mile Road. In addition, an 8" public sewer exists approximately 60' west of the west property line and parallel to it on private property. Both lines are available for service. The proponent will need an easement from the property owner to the west should that be the preferred route.

Note that basement depth must be provided for this development and an 8" public stub must be provided to the east property line to accommodate basement service for the upstream service area.

- 2. A 12" water main exists along the south side of 12 Mile Road across the frontage of the site. In addition, a 12" public line exists along the west property line which is on the Aim High property. The proponent can tap this line along the west property line provided that they obtain an easement. It must be looped into the 12" line on the south side of the road and an 8" stub must be provided to the east property line.
- 3. The plan identifies a curb cut off 12 Mile Road. The appropriate accel/decel and passing lanes must be provided as part of this development. It is our understanding that the RCOC is reconstructing this section of 12 Mile Road in

2025 to a three lane cross section. We suggest that the proponent meet with the RCOC to discuss how their construction will affect this site.

- 4. The plan identifies a dead-end private road extending northward thru the site and tee-ing off in both the east and west direction at the north end of the site. This is not acceptable. A 50' turning radius must be provided at the northerly terminus.
- 5. It may be prudent to also provide a stub road to the east at the halfway point to ultimately accommodate 28800 Twelve Mile Road should that property be considered for future development. This should be explored.
- 6. A traffic study will be necessary for this development. It is feasible that some of the lane requirements for this site may be accommodated by the RCOC construction. The proponent's Traffic Engineer needs to contact the City's Traffic Engineer to obtain a more detailed response as what specifics including the above needs to be in the study.
- 7. The plans identify an existing sidewalk along the 12 Mile Road frontage. It must be extended to the west property line if it does not extend there already.
- 8. Storm water detention, discharge restriction and storm water quality must be provided in accordance with the City of Farmington Hills Engineering standards. The City has recently revised the drainage ordinance to be consistent with the Oakland County Water Resources Commission standards. A detailed design including the support and calculations needs to be provided showing how they will meet these standards.
- 9. The plans conceptually show a detention pond at the north end of the site in a wooded area. This may not be feasible as the terrain drops off more than 40' from west to east. More details of this concept are needed. This elevation differential may also impact the site grading of the proposed site with the need for significant land balancing and fill and possibly retaining walls.
- 10. At the northeast corner of the site exists a severe erosion problem that drains into the main branch of the Pebblecreek. This must be permanently stabilized.
- 11. The northeast corner of this site is within the EGLE regulated 100 year floodplain. Depending on the final site design a permit from them may be required.
- 12. The City's Environmental Engineer Tyler Sonoga will be addressing the above drainage standards more specifically once a detailed engineering plan has been provided. He can be reached 248-871-2533.

- 13. The existing right-of-way in the area for 12 Mile Road is an implied 33' right-of-way. We suggest that the proponent dedicate the ultimate 60' right-of-way to the City to comply with the master right-of-way plan.
- 14. Once detailed construction plans have been conceptionally put together, we suggest that proponent meet with the Engineering Division via a virtual meeting or in person to discuss the site in further detail.



INTEROFFICE CORRESPONDENCE

DATE: October 4, 2024

TO: Planning Commission

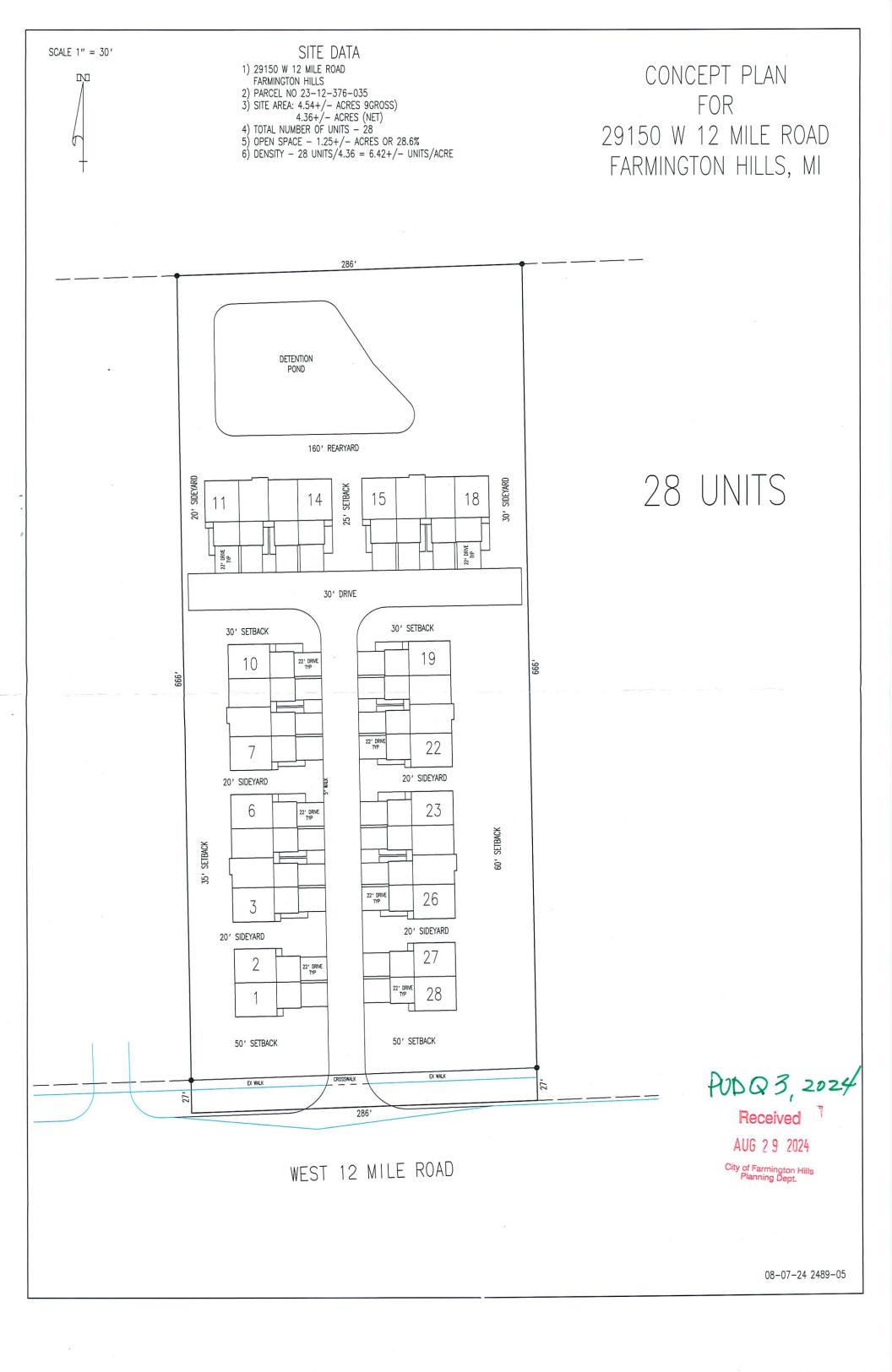
FROM: Jason Baloga, Fire Marshal

SUBJECT: PUD 3-2024 (29150 Twelve Mile)

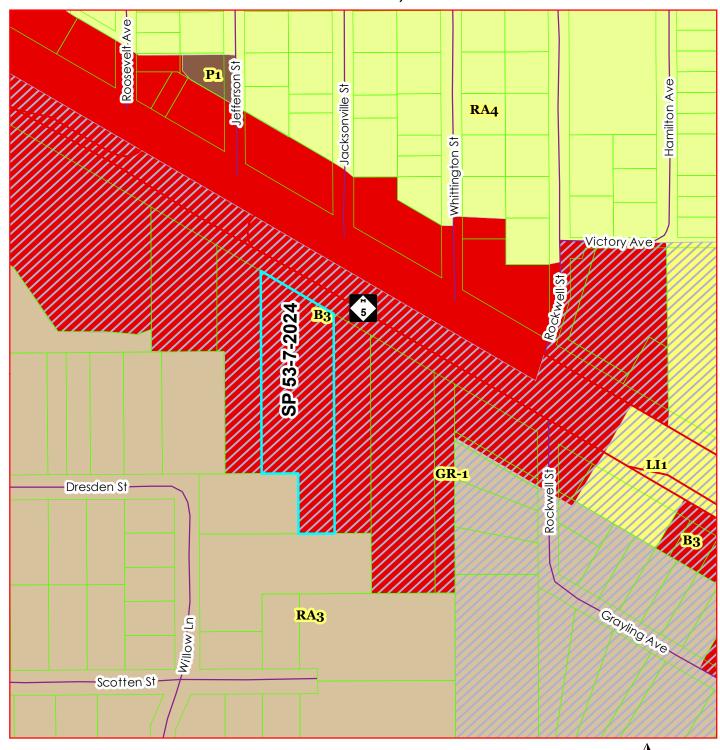
The Fire Department has no objection to approval of this PUD contingent upon compliance with the following requirements:

- 1. The proponent shall consider a 50' turning radius cul-de-sac at the dead-end and/or cross access/emergency access to an adjoining parcel.
- 2. The comments provided reflect the conceptual nature of the plans for this site. Additional requirements may occur when detailed plans are reviewed.
- 3. Additional comments will be provided when plans are designed in accordance with Chapter 12 Section 12-11 of the City Ordinance: Fire Department Site Plan Review and Design Standards.

Jason Baloga, Fire Marshal



SP 53-7-2024 28975 Grand River Ave., 36-306-011 Outdoor space for sale or rental of new or used motor vehicles, in B-3





Minor roads

Zoning Districts Zoning Districts

■ B-3 General Business District

- ☑ GR-1 Grand River Overlay District
- LI-1 Light Industrial District
- P-1 Vehicular Parking District
- RA-3 One Family Residential District
- RA-4 One Family Residential District

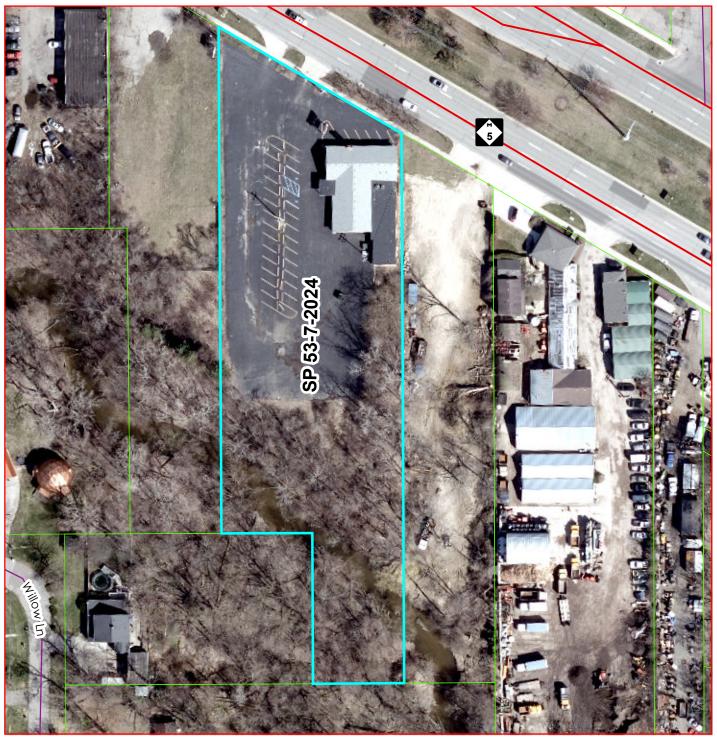


SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



SP 53-7-2024 28975 Grand River Ave., 36-306-011 Outdoor space for sale or rental of new or used motor vehicles, in B-3



☐ Tax parcel Minor roads





SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



October 9, 2024



Farmington Hills Planning Commission 31555 W 11 Mile Rd Farmington Hills, MI 48336

Site Plan Review

Case: SP 53-7-2024

Site: 28975 Grand River Avenue (22-23-23-36-306-01)

Applicant: Rawad Haddad

Plan Date: June 20, 2024, (Revised September 13, 2024)

Zoning: B-3 General Business District; GR-1 Grand River Corridor Overlay 1

We have completed a review of the application for site plan approval and a summary of our findings is below. Items in **bold** require specific action. Items in *italics* can be addressed administratively.

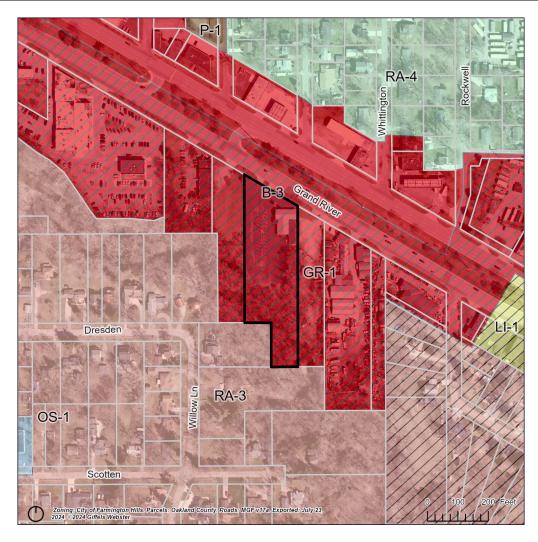


Summary of findings:

Existing Conditions

- 1. **Zoning.** The parcel is zoned B-3 General Business District and is also located in the GR-1 Grand River Corridor Overlay 1.
- 2. **Existing site.** The site is approximately 1.9 acres and is developed with a 5,610 sf single-story commercial building and parking area. The property is currently unoccupied and most recently served as a wholesale wireless accessory retailer.
- 3. **Adjacent properties.** The property is on the south side of Grand River Avenue, between Middlebelt Road and Rockwell St.

Direction	Zoning	Land Use	Future Land Use
			Category
North	B-3	Gas Station	Grand River Corridor
East	B-3	Landscaper	Grand River Corridor
Couth	DA 2	Single-Family	Single-Family
South RA-3		Residential	Residential
West	B-3	Auto Repair	Grand River Corridor



4. **Site configuration and access.** The plan proposes to maintain the existing access, with two curb cuts providing one-way ingress and egress onto the site.

Site Plan & Use:

1. **Proposed.** The applicant is proposing to renovate the existing 1-story building to serve as a facility for used car sales. In the B-3 District, used car salesrooms are listed as a principal permitted use (when the main use is carried on within a building with open air display of vehicles as accessory).

The proposed parking area includes spaces intended for car display and spaces for customer parking, including two barrier-free spaces. Additional clarification is needed regarding the number of parking spaces provided, as discussed in the off-street parking section of this review letter below.

NOTE: Although this property is located within the GR-1 Overlay District, the proposed use is not eligible for the additional flexibility offered under the overlay option.

2. Dimensional Standards (B-3 district).

Item	Required	Proposed/Comments
Front Yard Setback (34-3.1.25.E.)	25 ft min.	16'- existing nonconformity. Display spaces meet the 25-foot setback.
Setback adjacent to a Residential District (34-3.1.25.E.) (34-3.5.2.K)	20 ft min. The setback from any residential district shall be not less than twenty (20) feet or ten (10) percent of the depth of the lot as measured from the residential district, whichever is the greater. Such setback, however, need not exceed fifty (50) feet.	>50'
Side yard Setback (34-3.1.25.E.)	10 ft min.	>10'/ 0' Existing nonconformity
Building Height (34-3.1.25.E.)	50 ft/3 stories max	13.94'/ 1 story
Front yard open space	50% (203' frontage x 25' yard) * 50% = 2,537.50 SF	1,479 SF Improvement from existing nonconformity
Yard landscaping (34-3.5.2.A)	For all uses except one-family detached residential units, landscaping of all yards abutting a street shall be provided	See landscaping comments below.
Parking in the Front yard (34-3.5.2.J)	Parking may be permitted within the required front yard setback, provided that the parking setback is not less than ten (10) feet and an area within	No front yard parking.

	the front yard, including the ten (10) feet, remains as lawn or landscaped area which is equal to the specified percentage of the area of the required front yard setback.	
Rooftop equipment (34-3.5.2.U.)	Rooftop equipment shall be screened in accordance with Section 34-5.17.	Buildings do not currently have any rooftop equipment
Landscape area abutting street or freeway (34-3.5.2.V.)	A landscaped area not less than ten (10) feet deep	Provided

- 3. Applicable Use Standards for B-3 (34-3.11).
 - 1. All uses shall also be subject to the conditions of section 34-3.22 on marginal access drives, but given the location of the existing structure, a marginal access drive to the east would be infeasible.

The Planning commission may require a marginal access drive upon a finding that there are an excessive number of ingress or egress points along a major thoroughfare which diminish the carrying capacity of the thoroughfare, allowing for circulation between abutting properties. Provided, a marginal access drive shall comply with the open space and setback requirements described in 34-3.11.

- 2. All uses permitted shall require review and approval of the site plan by the planning commission
- 4. **Pedestrian access (34-3.24)** Pedestrian access-ways of sufficient width and design to allow convenient use shall be provided between public sidewalks and principal building entrances, between principal building entrances and off-street parking lots, and between uses on abutting parcels.

The existing sidewalk along the right-of-way does has a three-foot-wide walk path striped between internal areas of the site and the sidewalk. The Planning Commission shall consider whether this pedestrian walkway is sufficient to comply with this section.

5. Use Standards for Outdoor Space for Sale or Rental of Use Motor Vehicles (34-4.36)

Item	Required	Proposed/Comments
Surface Material	Durable surface material graded and drained to dispose of all surface water	Stormwater management is subject to review by the city engineer
Required distance from intersection	60 ft.	Lot is more than 60 ft. from any intersection
No major repair or major refinishing permitted		No area designated for such activity on the plans.

6. **Off street parking requirements (34-5.2.11).** *Note: the incorrect calculation was applied and should be calculated as indicated below.*

Use	Square Footage	Requirement	Provided
Motor vehicle sales and service	UFA for sales room= 2,000 sf	One (1) for each one hundred (100) square feet of usable floor space of sales room or three (3) for each one (1) auto service stall in service areas, whichever is the greater 20 spaces required	There are ten spaces labeled "Customer parking", but there are individual labels identifying customer parking on only three of the ten spaces. The applicant shall clarify whether three spaces or ten spaces in this location are proposed as customer parking. Regardless, the parking calculation is incorrectly labeled in the parking schedule on SP-1 and shall be corrected.

7. Off-street parking space layout standards (34-5.3.).

Item	Required	Proposed/Comments
Maneuvering lane width	90 degree parking: 20 ft.	Compliant.
Parking space dimensions	90 degree parking: 9 ft. x 20 ft	Compliant.

- 8. **Barrier Free Parking.** Two van accessible spaces are proposed.
- 9. **Off-Street Loading and Unloading (34-5.4).** Within any B or ES district, off-street loading space shall be provided in the rear yard only and in the ratio of at least ten (10) square fee per front foot of building 65' of building frontage= 650 sf loading space required. A 640-sf loading space was provided, an additional 10 sf of loading is required.
- 10. Acceleration-Deceleration-Passing Lanes (34-5.6.2.) Driveways providing ingress and egress to all three-lane paved major or secondary thoroughfares shall be provided with paved acceleration and deceleration lanes. If in the opinion of the director of public services no useful purpose would be served or if unusual difficulty would be encountered by reason of grade changes, intersections,

bridges, or other land restrictions, the director may waive or modify the requirements of this section. Potential lanes are shown on SP-03. *We defer to engineering to address this issue.*

11. Landscape Development (34-5.14).

Item	Re	quired		Proposed/Comments
Landscape plan informational requirements	-A table that indicates the total number of trees on site, the total number of trees to be removed, and the total number of replacement trees to be planted on site - The plan shall show location of plant material in graphic form.			The plans should include a table that indicates the total number of trees to be removed, and the total number of replacement trees to be planted on site. If no trees are to be removed, the plans should note that no trees will be removed.
(34-5.14.3.B)	-The trees that are to be removed with corresponding inventory numbers -Existing and proposed utilities shall be shown		Plant material shall be identified as existing/proposed. Landscaping plans must show existing/ proposed utilities.	
	Continuous curbing or other suitable device shall be required around all landscaped areas where damage from vehicles is possible. Each tree planted in a parking lot island must be provided with an open area not less than one hundred eighty (180) square feet with a minimum radius of three (3) feet at the trunk of the tree.		Compliant.	
Minimum size and spacing requirements	Size	Center to co		
(34-5.14.F)	(Height/width)	groupings	rows	
Evergreen Trees	8 ft. height	20 ft.	12 ft.	None Provided.
Narrow Evergreen Trees	5 ft. height	10 ft. 5 ft.		None Provided.
Large Shrubs	30 in. height	10 ft.	5 ft.	None Provided.
Small Shrubs	24 in. width	4 ft.	4 ft.	None Provided.
Large Deciduous	3 in. caliper 30 ft		Sugar maples are only 2.5 caliper along the frontage. This should be revised to meet the required 3 inch caliper.	
Small deciduous trees	2 in. caliper	2 in. caliper 15 ft		Crab apple trees are only 1.5 caliper. This should be revised to meet the required 2 in caliper.

Hedge shrubs	24 in. height	3 ft.	3 ft.	Compliant.
Canopy Trees (34-5.14.4)	One such tree shall be provided for each two thousand eight hundred (2,800) square feet of the paved surface area on the zoning lot		15 trees required. Compliant.	
	Trees shall be dis throughout the p			
Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge of small shrubs, or A masonry wall or berm of 2 feet high		Hedge of yews provided.	
Wall or Berm (34-5.15)	Required when abutting a residential district. (See 34-5.15)		None provided. A waiver may be granted if findings are consistent with 34-5.15.1.C.	
Tree replacement (34-5.18)			No additional replacement trees were provided, but no tree removals appear to have been proposed. The applicant shall provide a note clarifying whether any tree removals are to occur.	

12. Exterior Lighting (34-5.16). The lighting plan includes 11 pole-mounted lights (25') and 8 wall-mounted lights. It appears to have been applied to the wrong version of the site plan—this version shows two additional parking bays, with the parking lot extending toward the rear property line; as it does not match the site plan, it cannot be considered accurate.

Item	Required	Proposed/Comments
Required Information (34-5.16.2)	Relevant building elevation drawings showing all fixtures and the portions of the walls to be illuminated	Elevation drawings with information on illumination not provided.
Shielding (34-5.16.3.B.i)	Must be full cut off	Compliant
Sites adjacent to residential (34-5.16.3.B.iii)	Maximum illumination of 1/3 FC at property line All fixtures within 50 feet of residential property line or ROW boundary shall be fitted with a shielding reflector.	Illumination levels exceed 1/3 FC along all property lines, but some of the depicted fixtures seem unnecessary based on the site plan. A note about the reflector shall be added to the plans for lights within 50 feet of front or rear property line.

	Ma	aximum ambient light: 105,055	
	lur	nens	
Illumination Levels (34-	•	2.5 lumens per SF of hardscape	216,631 lumens. Noncompliant.
5.16.3.C)		area. (40,422 sf= 101,055	
		Lumens)	
	•	2,000 Lumens per door= 4,000	
		Lumens	

13. Pedestrian Connection (Sec. 34-5.19). The applicant has proposed hatching a pedestrian aisle between the front sidewalk and the building entrance. Additional hatching around the building is provided. No internal pedestrian connections are provided within the site or between the car display areas. The Planning Commission shall consider whether the proposed pedestrian facilities are compliant.

We are available to answer questions.

Respectfully,

Giffels Webster

Joe Tangari, AICP Principal Planner Julia Upfal, AICP Senior Planner





DEPARTMENT OF PUBLIC SERVICES JACOB RUSHLOW, P.E., DIRECTOR OF PUBLIC SERVICES

INTEROFFICE CORRESPONDENCE

DATE:

August 26, 2024

TO:

Planning Commission

FROM:

James Cubera, Engineering

SUBJECT:

Used Car Dealership

28975 Grand River Avenue

22-23-036-306-011

REVISED SP#: 53-07-2024 PJ#: 36-24-110

This office has performed a preliminary review of the above referenced site plan submitted to the Planning Department on August 12, 2024. Our preliminary comments are as follows:

- 1. The plan appears to be a revised layout of an existing site, predominantly the parking lot and paved portion of the property.
- 2. With bullet one in mind, our Planning Commission memo comments dated August 5, 2024, remain the same.
- 3. In our previous memo we noted the lack of topo and easements of record. If the proponent cannot provide a recorded easement of the public sewer along their Grand River frontage than a new easement must be provided.



INTEROFFICE CORRESPONDENCE

DATE: September 11, 2024

TO: Planning Commission

FROM: Jason Baloga, Fire Marshal

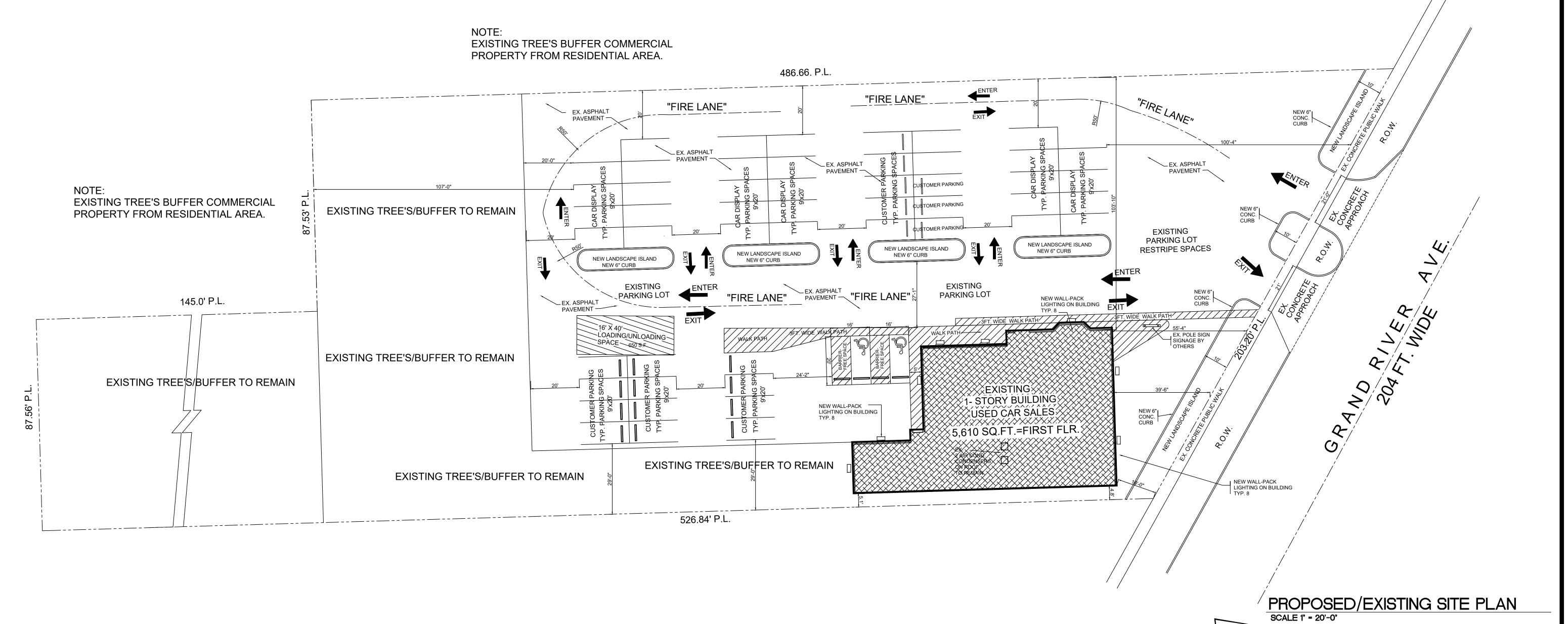
SUBJECT: Revised Site Plan 53-7-2024 (28975 Grand River)

The Fire Department has no objection to approval of this site plan contingent upon compliance with the following requirements:

1. Building shall be maintained in accordance with minimum Fire Prevention Code requirements.

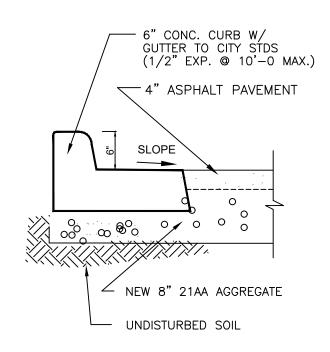
Jason Baloga, Fire Marshal

JB/al



SITE NOTES:

- 1- ALL MECHANICAL HVAC IS LOCATED INDOOR. CONDENSER LOCATED ON ROOF OF BUILDING HIDDEN BY HIP ROOF.
- 2- EXISTING TREE'S BUFFER TO REMAIN AT WEST AND SOUTH SIDE OF EXISTING SITE.



CONC. CURB & GUTTER DETAIL



B.F. PARKING SPACE

16' x 20' (2)

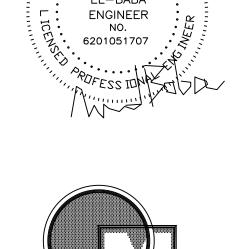
SITE DATA:

ZONING: SUBJECT PROPERTY: B3 - GENERAL BUSINESS DISTRICT TOTAL SITE AREA 39,840 (1.9 ACRES) USE GROUP: CONSTRUCTION TYPE: IIIB EXISTING BUILDING SQ.FT. : 5,610 SQ.FT. = FIRST FLOOR

DISCRIPTION OF PROJECT:

DEVELOPEMENT OF NEW "USED CAR SALES" EXISTING OFFICE SPACE AND SALES

EXISTING PARKING LOT TO BE STRIPED AND AND FOLLOW ALL REQUIREMENTS PER CITY OF FARMINGTON HILLS..





(313)995-1515 MADESIGN19@YAHOO.COM

PROJECT NO.: 06202024

FILE NAME: **GRAND RIV-A1**

DRAWN BY:

9 MILE RD.

8 MILE RD.

KEY PLAN

CHECKED BY:

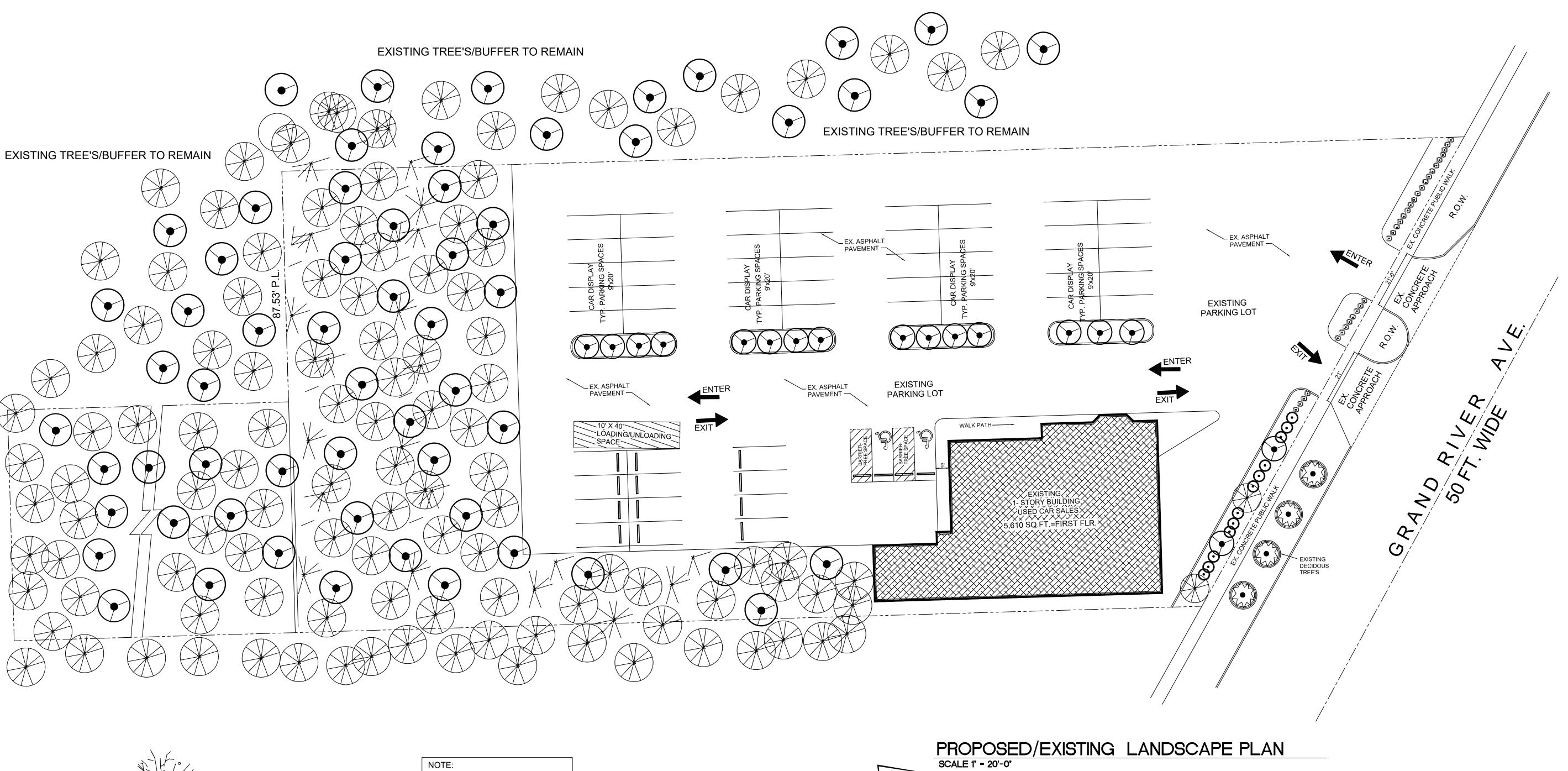
DATE PLOTTED: 6-20-2024

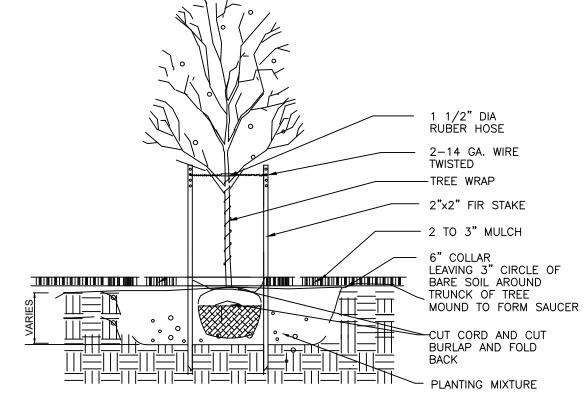
DATE SUBMITTED: 6-20-2024

REVISIONS:

8-12-2024 9-13-2024

SHEET NO.:





BE EQUING Dus Tree Planting NTS

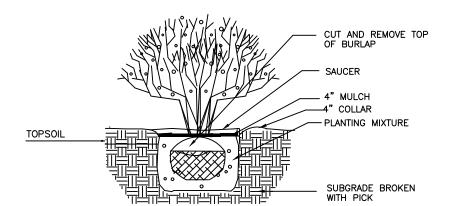
OF TREE'S REQUIRED = 39,840 SQ.FT. / 2800 SQ.FT. = 14 14 INTERIOR TREE'S REQUIRED

LANDSCAPING PLAN

16 PROPOSED

TYPE	SYMBOL	SIZE	QUANTITY
YEWS	0	4FT. O.C.	SEE PLAN
REDSPIRE PEAR TREES		3.0" CAL	
BOX WOOD SHRUB	•	AT 30'-0" C/C	SEE PLAN

TYPE		SYMBOL	SIZE	BOTANICAL	QUANTITY
NEW BLUE TAMS JUNIPER	SHRUB	0	CONT 30" SPREAD	JUNIPERUS S.T. "NEW BLUE	
DICIDUOUS SMA CRABTREE	LL	\bigcirc	B&B ROOT 1 1/2'" cal.	MALUS SYLVESTRIS LOLLIPOP	15
DECIDUOUS SUGAR MAPLE			B&B ROOT 2 1/2" CALIP.	ACER SACCHARUM	SEE PLAN



Shrub Planting

LANDSCAPING PLAN

TYPE SYMBOL SIZE SPACING QUANT	TTY
YEWS © 24" MIN HGT. 4FT. O.C. 31	

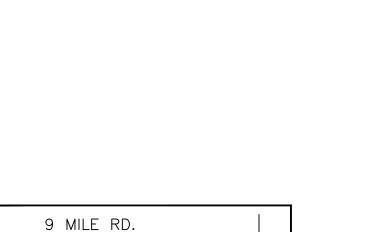
LANDSCAPING NOTES:

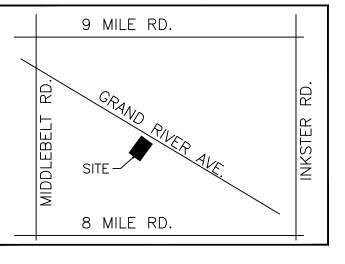
1. EXISTING TOP SOIL FOUND TO BE IN GOOD CONDITION TO BE STORED ON SITE AND PROTECTED ARNUE EXTREME WEATHER CONDITIONS, BAD SOIL TO BE DISPOSED IN LEGAL MANNER.

ALL LANDSCAPED AREA (L.S. AREA) TO RECEIVE MIN. 4" TOP SOIL WITH SOD. PROVIDE FERTILIZER UNDER SOD, ALL PER CITY STANDARDS.

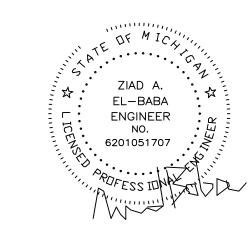
3. ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE. 4. ALL NEW TREES ARE TO BE STAKED WITH TWO 6 FT., CEDAR STAKES GUYED WITH HOSE COVERED WIRE.

5. ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING 6. ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR ONE YEAR TO BE IN HEALTHY AND VIGOROUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE











(313)995-1515 MADESIGN19@YAHOO.COM

PROJECT NO.: 06202024

FILE NAME:

GRAND RIV-A1

DRAWN BY:

CHECKED BY:

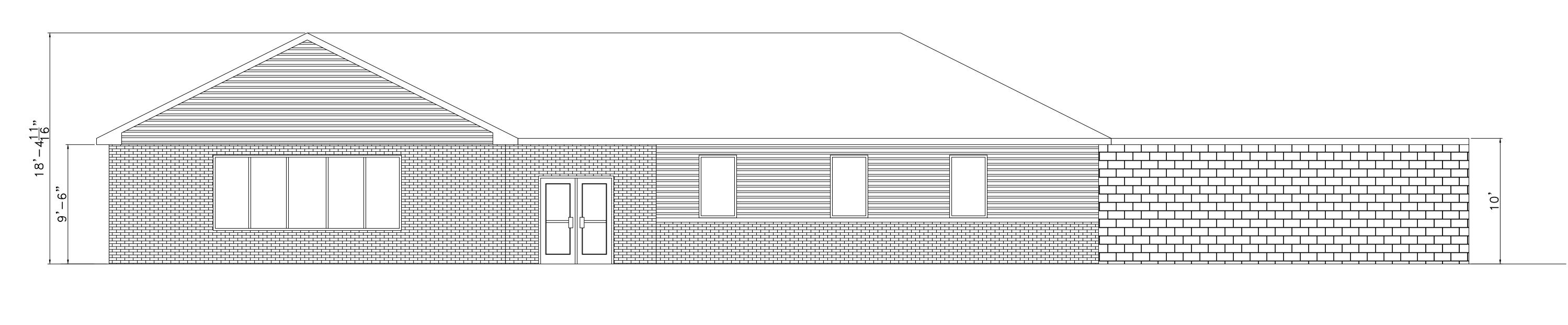
DATE PLOTTED:

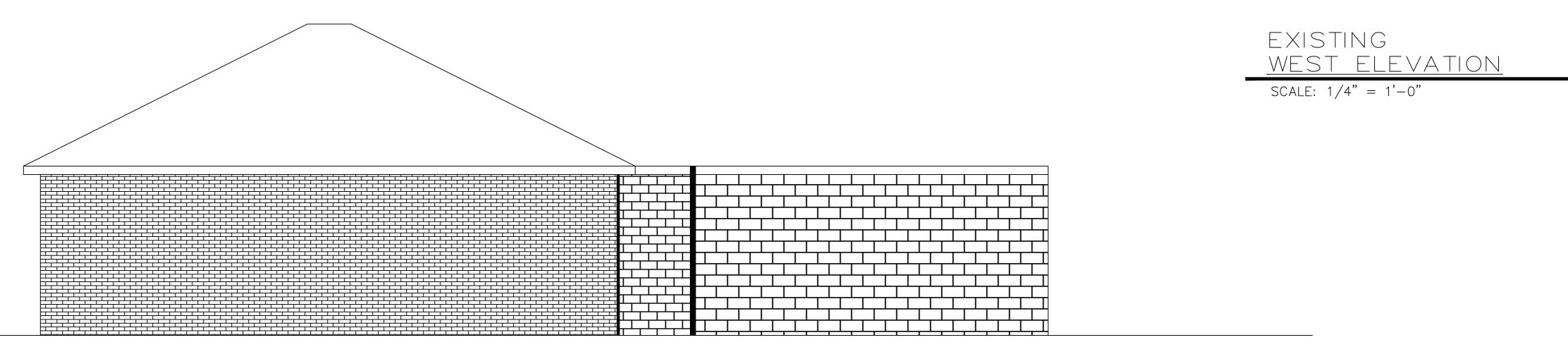
DATE SUBMITTED:

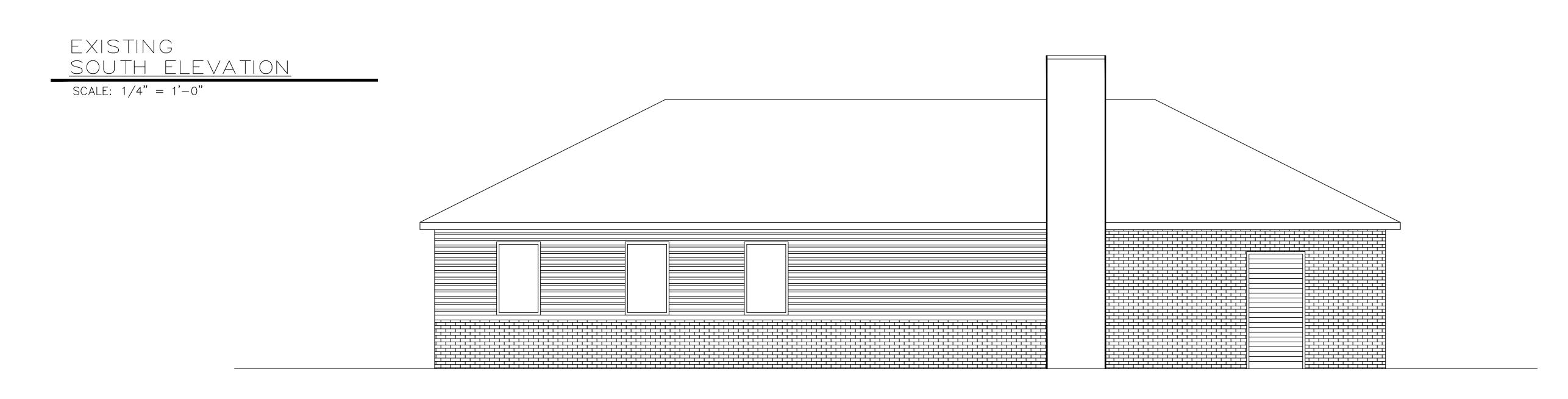
6-20-2024

REVISIONS: 8-12-2024 9-13-2024

SHEET NO.:







EXISTING <u>north elevation</u> SCALE: 1/4" = 1'-0"





(313)995-1515 MADESIGN19@YAHOO.COM

PROJECT	NO.:	
		(

06202024 FILE NAME:

GRAND RIV-A1

DRAWN BY:

CHECKED BY:

DATE PLOTTED:

DATE SUBMITTED: 6-20-2024

REVISIONS:

SHEET NO.:

50 YYE/ARS

 $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ $^{+}0.2$ $^{+}0.3$ $^{*}0.4$ $^{*}0.5$ $^{*}0.6$ $^{*}0.6$ $^{*}0.6$ $^{*}0.6$ $^{*}0.6$ $^{*}0.9$ $^{*}1.0$ $^{*}1.0$ $^{*}1.0$ $^{*}1.0$ $^{*}1.0$ $^{*}1.1$ * GRAND RIVER +0.0 +0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.1 | 0.2 +0.4 +0.7 +0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.7 +0.8 | 0.1 | 0.2 +0.4 +0.8 | 0.1 | 0.2 +0.4 +0.8 | 0.1 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 +0.8 | 0.2 +0.4 | 0.2 +0.4 +0.8 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 +0.4 | 0.2 $^{+}0.0$ $^{+}$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ $^{+}0.2$ $^{+}0.3$ $^{+}0.6$ $^{+}0$ $^{+}0$ $^{+}1.2$ $^{*}1.6$ $^{*}2.4$ $^{*}2.8$ $^{*}3$ $^{+}0$ $^{*}2.6$ $^{*}3.6$ $^{$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.2$ $^{+}0.3$ $^{+}0.5$ $^{*}0.6$ $^{*}0.7$ $^{*}0.9$ $^{*}1.0$ $^{*}1.0$ $^{*}1.1$ $^{*}1.5$ * $^{+}0.0$ $^{+}$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.0$ $^+0.1$ $^+0.$ PROPOSED/EXISTING SITE PLAN

Plan View
Scale - 1'' = 20ft

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	Α	9	Lithonia Lighting	DSX1 LED P5 50K T5M MVOLT	DSX1 LED P5 50K T5M MVOLT	LED	16643	0.9	138
	В	8	Lithonia Lighting	DSXW1 LED 10C 350 50K T3S MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 5000K, @ 350mA.	LED	1512	0.9	13.3
	С	2	Lithonia Lighting	DSX2 LED P4 40K BLC MVOLT	DSX2 LED P4 40K BLC MVOLT	LED	27374	0.9	270

Statistics	Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max	
Grade	+	1.5 fc	8.1 fc	0.0 fc	N/A	N/A	0.2:1	
Show Lot	Ж	2.4 fc	8.1 fc	0.3 fc	27.0:1	8.0:1	0.3:1	

General Note

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"
- 3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL

 $^{+}0.0 \, ^{+}$

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

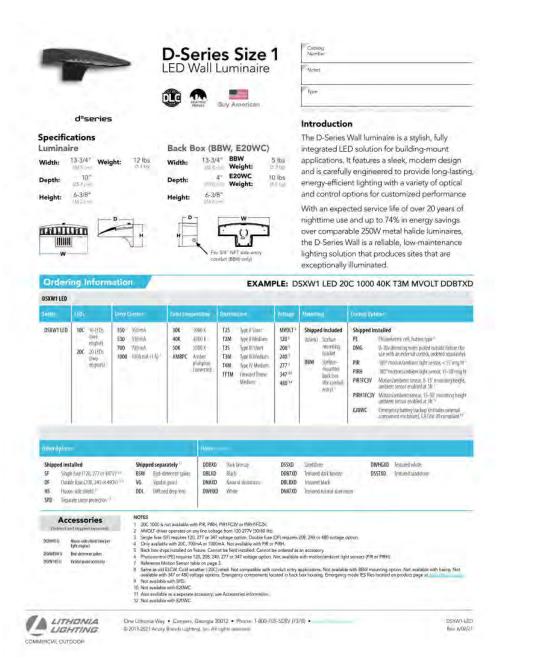
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

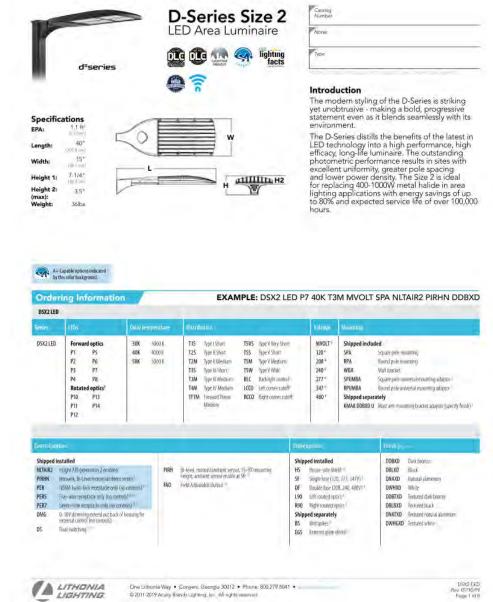
FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

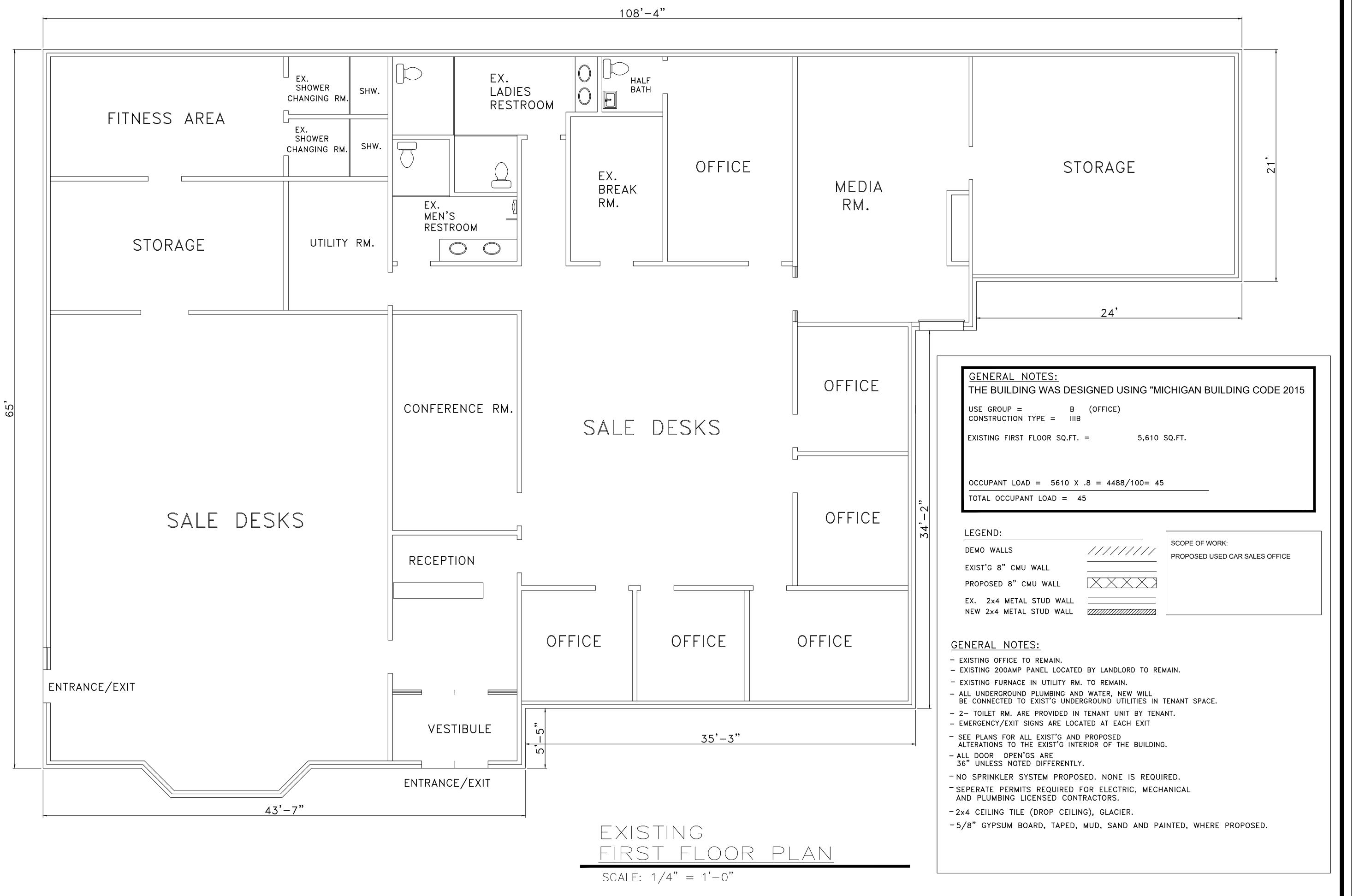
THE R. P.	_	D-Sei	ries Size	e 1 Galzon			
		LED Are	ea Lumina	ire Note			
	d#series	<u> </u>		ghting facts			
Specific EPA: Length: Width: Height: Weight (max):	1.01 ft ² 1.02 ft ² 1.03 ft ² 1.33 ³ 1.41 ftm 1.3° 1.31 ftm 7-1/2° 1.71 ftm		W W	This i design appears	tem is an ined and to arance an configura ands' species luminair Lº control L DLL equedification eroperabilis luminair ROAM® coviding out to simple a ckground arm more a secondario and condenses and ockground arm more a secondario and condenses and conde	ested to provid d system-level it tions of this lum ification for chine is A+ Certifier is marked by a suipped luminaire to litty! e is part of an A or XPoint Mire to the box commissioning, control options response to the	inaire, which has been e consistent color nteroperability, inaire meet the Acuity omatic consistency d when ordered with shaded background, as meet the A+ photocontrol of the Certified solution eless control networks, ntrol compatibility when ordered with marked by a shaded
A+Ca by thin	ipable options indicated scolor background					M node per lum	ninaire. Sold
Orderi	igable option indicated scelor budgeound.			Sej	parately:	ark to Roams in	ninaire. Sold
bythin	s-color background	Color Lempscature	Distribution	Sej	parately:	ark to Roams in	ninaire. Sold
Orderi DSXILED	ng Information	Colos kempelatores 3BK 3000 K 40K 4000 K 50K 5000 K AMBPC Amberghaphos converted*	Distributions TTS Type 3 short T2S Type 3 short T2M Type 8 short T3M Type 11 medium T4M Type 11 medium T4M Type 10 medium T5TM Forward throw medium T5TM Tope V sery short	Sep EXAMPLE: D 155 ligseV.html 15M ligseV medium 15W ligseV wide BLC Sedinght commc ^{2,4} LCCO Left come 200 RCCO Right Come 200 RCCO Right Come	parately:	P7 40K T3M Mounting Shipped included SPA SQAS BPA ROUT WBA Walt SPUMBA State Shipped separately MANA DORRO U Mast	ninaire. Sold
Orderi DSXILED	color barkground. LEIn Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10' P12' P11' P13'	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amher phosphol	T1S lype I short T2S lype If short T2M lype II short T3M lype II short T3M lype II short T4M lype IV medium T4M Forward throw medium	Sep EXAMPLE: D 155 ligseV.html 15M ligseV medium 15W ligseV wide BLC Sedinght commc ^{2,4} LCCO Left come 200 RCCO Right Come 200 RCCO Right Come	Voicee MyOLT 45 120 ° 208 54 240 14 277 ° 347 545 480 547	P7 40K T3M Mounting Shipped included SPA SQAS BPA ROUT WBA Walt SPUMBA State Shipped separately MANA DORRO U Mast	minaire. Sold MVOLT SPA DDBXD me pole muuniks; di pole muuniks; amn muuniks; ann muuniks; amn muuniks; a

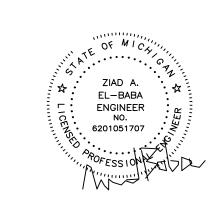




PROPOSED USED CAF PHOTOMETRIC SITE GASSER BUSH ASSO WWW.GASSERBUSH

Designer
DB
Date
08/14/2024
Scale
Not to Scale
Drawing No.
QUICK CALC V2
1 of 1







(313)995-1515 MADESIGN19@YAHOO.COM

PROJECT NO.:

06202024

FILE NAME:

GRAND RIV-A1

D "USED CAR SALES"

1-STORY BUILDING
D RIVER, FARMINGTON HILLS, MICHIGAN
ADDAD
AND RIVER
ON HILLS, MICHIGAN

DRAWN BY:

CHECKED BY:

П.Э.

DATE PLOTTED: 6-20-2024

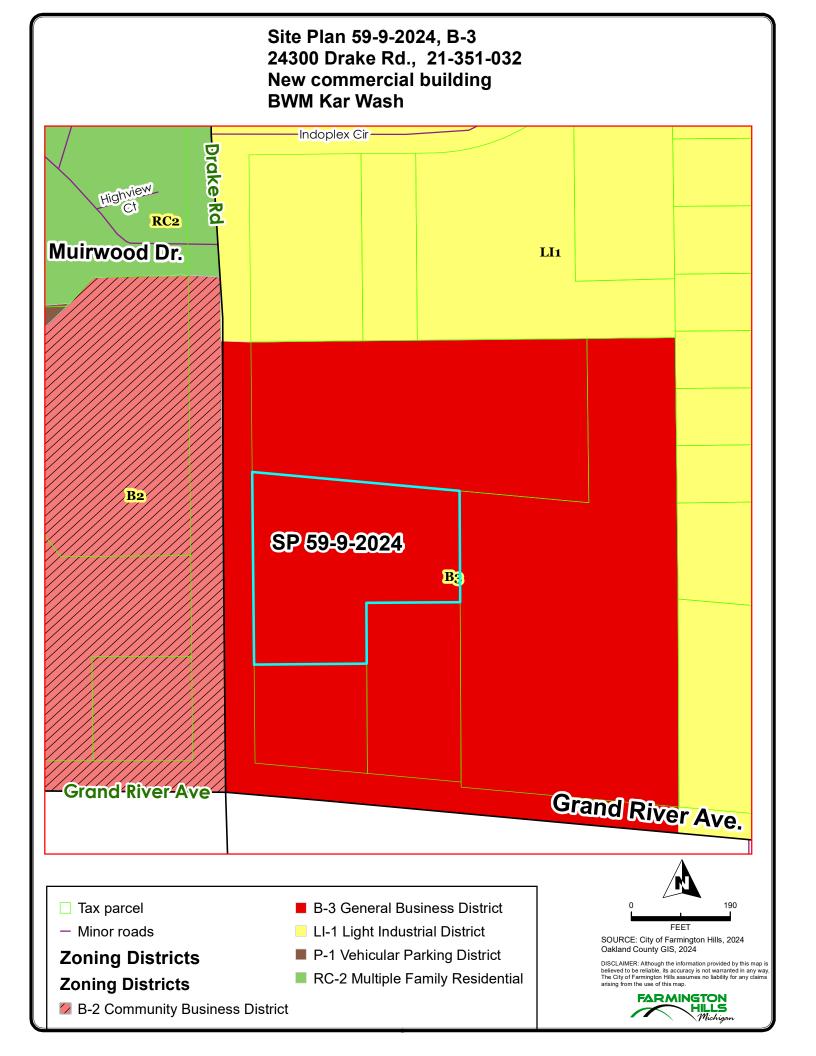
DATE SUBMITTED:

6-20-2024

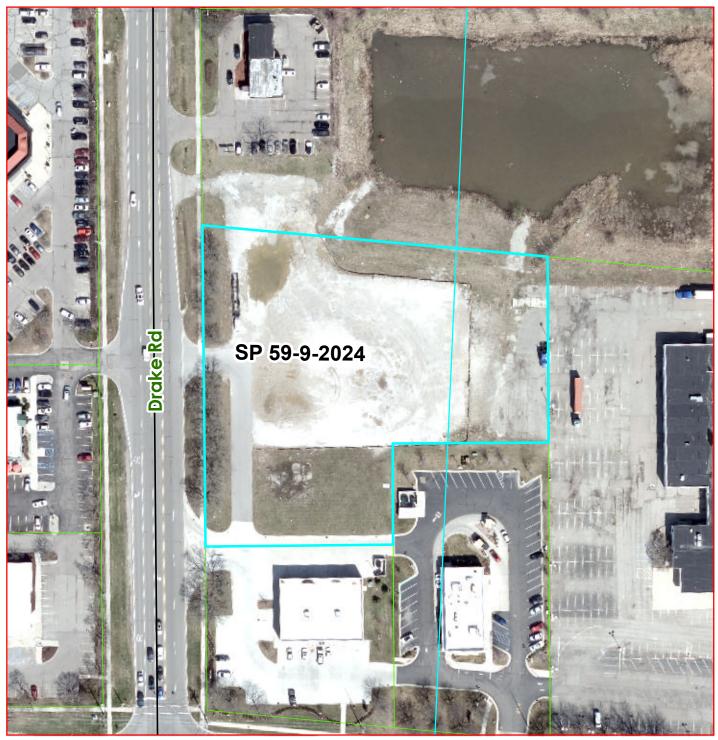
REVISIONS:

SHEET NO.:

A-1



Site Plan 59-9-2024, B-3 24300 Drake Rd., 21-351-032 New commercial building BWM Kar Wash



Planning Division



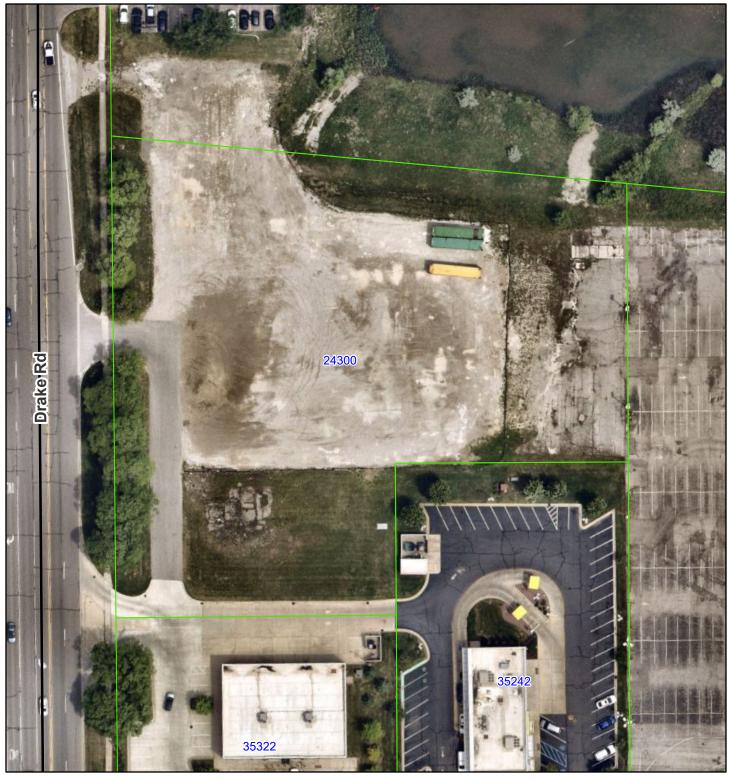
SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



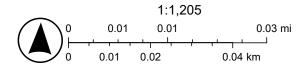
☐ Tax parcel

24300 Drake Rd., early 2024



10/2/2024, 1:26:39 PM

Tax parcels



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October 6, 2024



Farmington Hills Planning Commission 31555 W 11 Mile Rd Farmington Hills, MI 48336

Site Plan Review

Case: SP59-9-24

Site: 24300 Drake (23-21-351-032)

Applicant: BMW Kar Wash, LLC Plan Date: September 18, 2024 Zoning: B-3 General Business

We have completed a review of the application for site plan approval and a summary of our findings is below. Items in **bold** require specific action. Items in *italics* can be addressed administratively.



Date: 10/07/2024 Project: 59-5-2024

Page: 2

SUMMARY OF FINDINGS

Summary of Proposal. The applicant proposes to construct a new 6,140 SF automated car wash facility, with 15 vacuum spaces with frontage along Drake Rd. between Grand River Avenue and Indoplex Circle. The plans involve closing the existing curb cut along Drake, with the main entry to the site from an existing marginal access drive connecting to the business to the south. The applicant has also proposed an ingress-only marginal access drive from the car dealership to the east

Summary of Issues.

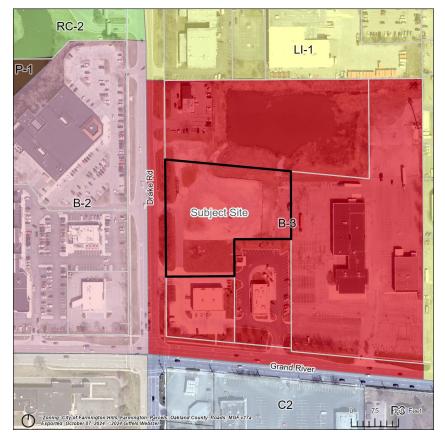
- The planning commission shall review the dead-end aisles in the parking area to consider whether the two-way maneuvering is adequate for traffic flow
- The planning commission shall determine whether existing vegetation along the ROW provides adequate screening, or if a wall or hedge shall be provided
- Easement agreements shall be reviewed to allow for the proposed connections with adjacent lots
- Applicant shall describe the location of the required loading
- Information on any rooftop mechanical fixtures shall be provided
- Parcel dimensions shall be labeled
- The turning radius for the drive-thru shall be 25' minimum
- Striping or marking shall be provided to distinguish the drive-thru lane
- Sheet C-4.0 Shows ingress stacking spaces, but the two required egress spaces beyond the washing bay shall also be included.
- Provide notes regarding lighting after operating hours as outlined in the lighting section of this review letter
- Elevation illumination plans required for building mounted fixtures
- Lighting in the bypass lane exceeds the required average to minimum lighting ration (5:1)

Existing Conditions

- 1. **Zoning.** The site is 2.7 acres and zoned B-3.
- 2. **Existing site.** The site is currently vacant. There is an asphalt drive lane into the site, but the majority of the site is dirt/gravel.
- 3. Adjacent properties.

Direction	Zoning	Land Use	Future Land Use
North	B-3	Car Rental	Grand River Corridor
South	B-3	Retail/ Drive-Thru	Grand River Corridor
East	B-3	Auto Sales	Grand River Corridor
West	B-2	Grocery Store/ Shopping	Commercial
		Center	





4. Existing site configuration and access. The site is currently accessed through a single curb cut on Drake Road (between Grand River Ave. and Indoplex Circle). There is a marginal access drive to the property to the south.

Site Plan & Use:

- 1. Use. A car wash is a principally permitted use in the B-3 district, subject to PC approval and the standards of Section 4.40 (see below).
- 2. Proposed site configuration and access. The plans involve closing the existing curb cut along Drake, with the main entry to the site from an existing marginal access drive connecting to the business to the south. The applicant has also proposed an ingress-only cross-access drive from the car dealership to the east. Easement agreements shall be provided to allow for the proposed connections with adjacent lots.
- 3. **Dimensional Standards (B-3 district).** See footnotes after the table for remarks on compliance issues.

Item	Required	Proposed/Comments
Standards of Sec. 34-3.1.25.E		
Min. lot size	None specified	2.7 Acres
Min. lot width	None specified	370' ¹
Front Setback (west)	25 ft	86.55'
Rear Setback (east)	20 ft	154.46′
Side Setback (north)	10 ft	50.54'
Side Setback (south)	10 ft	121.2'
Building Height	50 feet	18'10"

Date: 10/07/2024 Project: 59-5-2024

Page: 4

Item	Required	Proposed/Comments	
Front Yard Open Space	50%	100%	
Other dimensional standa	rds		
Yard landscaping (34-3.5.2.A)	For all uses except one-family detached residential units, landscaping of all yards abutting a street shall be provided	See landscaping comments below.	
Minimum parking setback (34-3.5.2.J)	10 feet	Compliant	
Loading space (34-3.5.2.N)	10 feet of loading space per front foot of building = 260 sq ft	Applicant shall describe location of required loading	
Rooftop equipment (34-3.5.2.U.)	Rooftop equipment shall be screened in accordance with Section 34-5.17.	Rooftop equipment is not addressed on the plans; ground-mounted mechanical equipment is also required to be screened.	
Landscape area abutting street or freeway (34-3.5.2.V.)	A landscaped area not less than ten (10) feet deep	Compliant	

¹⁾ The applicant shall label parcel dimensions

4. B-3 Required Conditions (34-311.)

- a. All Uses shall also be subject to the conditions of sections 34-3.22 on marginal access drives, provided however, that: (See review of marginal access drive below).
 - i. The edge of the marginal access drive shall be located 10 feet from the future street ROW. *Compliant*.
 - ii. The front yard setback shall be a minimum of 60 feet from the future right-of-way. *Compliant*.
 - iii. The front yard open space may be reduced to twenty-five percent of the required 60 foot setback area. *Compliant*.

b. All uses permitted shall require review and approval of the site plan by the PC

- 5. Marginal Access Drive. (34-3.22). The applicant provides a marginal access drive between this site and the neighboring site to the south (an improvement of the existing marginal access drive). An ingress-only, one-way drive allows vehicles to enter this site from the east as well. The marginal access and cross-access drives must covered by a dedicated easement recorded prior to the issuance of an occupancy permit.
- 6. **Pedestrian Access. (34-3.24).** Pedestrian access is provided between the sidewalk and building and throughout the parking entrances. A sidewalk also runs along the entire front of the property; where this is currently interrupted by a driveway, it will be filled in when the driveway is removed.
- 7. Use Standards for Vehicle Washes (34-4.40).

Required	Proposed/Comments	
All washing facilities shall be within a	compliant	
completely enclosed building.	compilant	
Vacuuming and drying areas may be		
located outside the building but shall	compliant	
not be in the required front yard.		

All cars required to wait for access to the facilities shall be provided space off the street right-of-way.	compliant
Access points shall be located at least	
two hundred (200) feet from the intersection of any two (2) streets	compliant
All off-street parking and waiting areas shall be hard surfaced and dust free.	compliant
One traffic lane shall be provided as means of exiting the facility without having to enter the car wash building; such lane shall be in addition to those which would be used by customers obtaining gasoline and waiting in line for the carwash. Such lane shall not be counted as part of the required reservoir parking space.	compliant
All buildings, vehicular stacking space, vacuuming or other outside use area, except employee parking, shall have a minimum setback of one hundred (100) feet from a residential district, unless the district is separated by a major or secondary thoroughfare.	Compliant; no adjacent residential

8. Off Street Parking Requirements (34-5.2)

Requirement	Calculations	Provided
Auto wash (automatic)- One for each employee	3 employees	5 spaces
Barrier-Free Spaces	1 space (van accessible)	1 space
Stacking	3 vehicles in advance of	
	the washing bay and 2	Complies ¹
	vehicles beyond the	Compiles
	washing bay for drying	
Other drive -through standards	Drive-through lanes	
	located adjacent to a	
	street shall be buffered	
	by a minimum 10 foot	See landscaping
	wide landscaped	standards below.
	planting adjacent to the	
	right-of-way as specified	
	in 34-5.14.	
	Drive-through lanes	The turning
	shall have a minimum	radius is only 20′
	centerline turning radius	(car wash
	of twenty-five (25) feet.	entrance and
		exit)

Drive-through lanes	Provide striping
shall be striped, marked,	or marking to
or otherwise	delineate drive
distinctively delineated	lane

¹Sheet C-4.0 Shows ingress stacking spaces, but the two required egress spaces beyond the washing bay shall also be depicted.

9. Off-street parking dimensions (34-5.3.3.A & B.).

Item	Required	Proposed/Comments
Maneuvering lane width	20 ft.	24'
Parking space width	9 ft.	9 ft
	Note: vacuum spaces proposed at 12' width	h
	20 ft. for minimum required	
	(May include a maximum two-foot	
	unobstructed vehicle overhang area at the	
	front of the parking space.)	
Parking space length		20 ft
	17 ft. for additional parking	
	(May include a maximum one-foot	
	unobstructed vehicle overhang area at the	
	front of the parking space)	
	The off-street parking lot shall be provided	See landscaping
Screening	with screening as required by Section 34-	comments below
	5.15	comments below
	Dead-end off-street parking aisles are	
	discouraged, especially in connection with	Including the vacuum
	business uses. Such aisles should be no	spaces, the aisles
	more than eight (8) spaces deep and	include more than 8
Dead-End Aisles	should, in any case, be used only when	spaces. However, two-
	there is no reasonable alternative. If more	way access is provided
	than eight (8) spaces deep, the layout shall	to allow a means for
	provide a means for vehicles to turn	turning around.
	around if all spaces are occupied.	

- 10. **Off-Street Loading (34-5.4).** 10 SF of required loading per each foot of building frontage (26'). *The applicant shall identify the required 260 sf loading space on the site.*
- 11. Acceleration-Deceleration-Passing Lanes (34-5.6.2.) Driveways providing ingress and egress to all three-lane paved major or secondary thoroughfares shall be provided with paved acceleration and deceleration lanes. If in the opinion of the director of public services no useful purpose would be served or if unusual difficulty would be encountered by reason of grade changes, intersections, bridges, or other land restrictions, the director may waive or modify the requirements of this section. We defer to engineering to address this issue.
- 12. Site Landscaping (34-5.14)

removed. 10 trees proposed to

be maintained.

				ruge. /
Item	Required		Proposed/Comments	
Minimum distance from the property line (34-5.14.C.ii)	4 ft from the property line for trees and large shrubs		Compliant	
Minimum parking lot island area	Minimum of 180 square feet; 3 feet minimum radius at the trunk of the tree		N/A	
Cost estimate	Not required			
Minimum size and spacing requirements at	Size	Center to distance (m		
planting (34-5.14.F)	(Height/width)	groupings	rows	
Evergreen Trees	8 ft. height	20 ft.	12 ft.	N/A
• Narrow Evergreen Trees	5 ft. height	10 ft.	5 ft.	N/A
Large Shrubs	30 in. height	10 ft.	5 ft.	N/A
Small Shrubs	24 in. width	4 ft.	4 ft.	N/A
Large Deciduous	3 in. caliper	30 ft.	-	Compliant
Small deciduous trees	2 in. caliper	15 ft.	-	Compliant
Hedge shrubs	24 in. height	3 ft.	3 ft.	N/A
Canopy Trees	Shall be large deciduous. PC may permit large evergreens			4 large deciduous trees provided
Minimum number of parking lot trees (34-5.14.4.C)		,800 square feet of area: 34,927 SF of rees 13 trees provided		13 trees provided
Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge A masonry wall c			No hedge is provided. The site includes existing trees along the road frontage which has a partial screening effect, but may not adequately mitigate the impact as effectively as a knee wall or hedge. Planning Commission should review and confirm.
Wall or Berm (34-5.15)	Required when a	adjacent resid	dential	Not required
Tree replacement (34-	0 required	No existing trees will be		No existing trees will be removed. 10 trees proposed to

13. Lighting (Section 34-5.16).

5.18)

- i. **Operation hours (34-5.16.3.B.v.).** The following notes must be added to or addressed on the plan; it is unclear from the existing plans whether these standards are met.
 - Exterior lighting shall not operate during daylight hours.

0 required

Date: 10/07/2024 Project: 59-5-2024

Page: 8

• Building façade and landscape lighting shall be turned off between midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.

- All other exterior lighting shall be reduced to no greater than 70% of maximum from midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
- Use of occupancy sensors to turn off or reduce lighting within 15 minutes of zero occupancy is recommended.
- **a. Illumination Levels.** The fixtures appear to meet cutoff requirements.

Item	Required	Proposed/Comments
Maximum height (34- 5.16.3.A.)	30 feet maximum	25 ft.
Building Lighting (34-5.16.3.A. iii.)	Relevant building elevation drawings showing all fixtures and the portions of the walls to be illuminated	Building mounted fixtures proposed; details needed
Average to minimum illumination ratio (34-5.16.3.C)	4:1	5:1 (bypass lane)
Maximum illumination at the property line	0.3 fc	Compliant
Illumination Levels- Hardscape areas (e.g., parking areas, sidewalks)	2.5 lumens per sq ft of hardscape area 34,927 sf of hardscape= 87,317.5 lumens	54,783
Illumination Levels Building Entrances – within 20 ft of door	2,000 lumens per door	Building-mounted entrance fixtures exceed 2,000 lumens per door

14. Pedestrian Connection (Sec. 34-5.19). A pedestrian connection to the Drake sidewalk is provided.

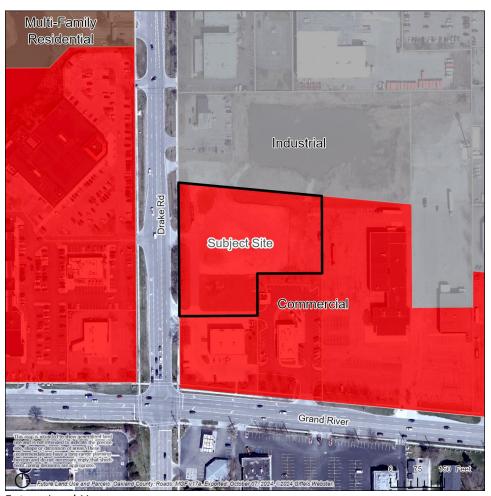
We are available to answer questions.

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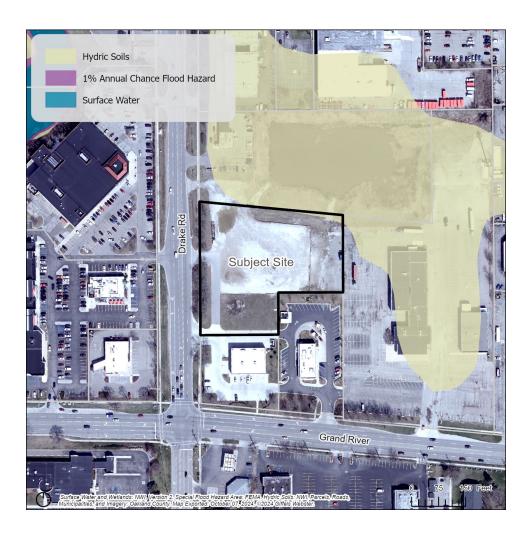
Respectfully,

Giffels Webster

Joe Tangari, AICP Principal Planner Julia Upfal, AICP Senior Planner



Future Land Use







DEPARTMENT OF PUBLIC SERVICES JACOB RUSHLOW, P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE:

October 8, 2024

TO:

Planning Commission

FROM:

James Cubera, City Engineer

SUBJECT:

SP 59-09-2024

Jax Kar Wash

24300 Drake Road

PJ#21-24-60, 22-23-21-351-032

This office has performed a preliminary review of the above referenced site plan submitted to the Planning Department on September 18, 2024. Our preliminary comments are as follows:

- 1. A 16" water main exists along the Drake Road frontage of this site. In addition, an 8" water main exists along the south property line of the site. The site plan proposes to tap and loop these watermains with an 8" line. This is appropriate. Offsite easements to the south may be necessary.
- 2. An 8" public sanitary sewer exists along the west property line as well as the south property line within the confines of this site. The proponent has identified tapping the sanitary sewer along the Drake Road frontage. This is acceptable.
- 3. A 5' wide sidewalk currently exists along the Drake Road frontage of this site. Therefore, no additional sidewalk requirements will be in effect.
- 4. The site proposes to utilize an existing curb cut to the south. This is appropriate. Note that acceleration and deceleration tapers may be warranted. An engineering traffic study must be provided to address this need. It is suggested that the proponent's engineer contact the City Traffic Engineer to discuss the specific needs of the study.

Our office notes that when the original Bob Saks property was conceptually developed (for the AutoZone, Sierra Motors and McDonalds site) an interior ring road system with access rights to the Drake Road curb cut that abuts the AutoZone property as well as the McDonalds curb cut on Grand River Avenue, was provided. The proponent is extending this ring road at the north end to the old Sierra Motors property. This is appropriate. However, it must be revised to allow for two way traffic. This may significantly effect the internal car wash traffic pattern and also needs to be addressed in the above traffic study.

Similarly, there are two vacant green areas, one to the east and one to the south. How will their future traffic be provided for should they be developed? This needs to be addressed.

The plans need to identify the specific traffic access easement and provide for a new onsite easement if it does not exist already to allow interior traffic including AutoZone, Sierra Motors and McDonalds to utilize the remaining portion of the extended ring road. Similarly, access rights must also be allowed for the site to the east where they are stubbing off their ring road extension.

It is also suggested that the stub road be directed north towards Enterprise Cars to allow for future access there.

Both the stub to the east and north were previously proposed by the old Mirage theatre site.

- 5. This site utilizes the community detention pond located immediately north of the proposed car wash. The plans may need to rework the south slope line. This needs to be reviewed and addressed as existing grades drop off at the north property line. It is unclear if the slope will be impacted. Details of this must be provided during construction review. Additionally, the plans must address how the existing spill ways are impacted.
- 6. The plans have not identified the access point to the detention basin. It should be in the neighborhood of the northeast property corner. A design of this must be provided for review. It must provide for proper and reasonable access.
- 7. The existing detention facility is in need of maintenance. This must be addressed prior to any construction permits. The pond that is being utilized for this site currently holds water and is in a state of disrepair. Prior to any construction permitted, it needs to be brought up to original condition of when it was built.
- 8. Storm water quality improvements for this site must be addressed. The plans identify a proposed storm water quality unit at the northeast corner of the site. Recently the City adopted the WRC stormwater standards. These new requirements may impact the stormwater quality unit proposed as well as the detention/restriction system in general. Attached are additional comments from our Environmental Engineer. Any questions on these needs to be referred to Tyler Sonaga at 248-871-2533.
- 9. As stated above the City is concerned with the property line grades along the north property line. A detailed plan must be provided to ensure that they are being maintained. If retaining walls will be proposed, they need to be identified and substantiated as to their necessity as well as their structural integrity.
- 10. Private utilities run through the site, most notably a 24" storm sewer. Private easements must be identified in advance of any construction approval.

11.	We have previously met with the proponent. It is suggested that the proponent and his engineer again meet with the City Engineering Division to discuss the site in further detail.





DEPARTMENT OF PUBLIC SERVICES KAREN MONDORA, P.E., DIRECTOR

City of Farmington Hills Environmental Review

Project Name: Jax Kar Wash

Address: 24300 Drake Road Plan Received: 9-24-2024

Project Job #: 21-24-60 SP #59-9-2024 Review #: 1

Plan Dated: 9-18-2024 Review Date: 10-9-2024

As requested, I have conducted a plan review of the above reference engineering plans. I have the following comments:

1. Storm water quality and detention must be provided for the entire site in accordance with the newly adopted Oakland County Water Resources stormwater standards.

- 2. Infiltration practices should be used to the maximum extent practicable and will count as part of the required water quality volume. Infiltration tests need to be performed in planned pervious areas to determine if the soils will allow infiltration.
- 3. As a part of the Oakland County Water Resources stormwater standards, the plans must include a long-term operations and maintenance plan, the land use summary page in the standards, a stormwater design narrative, a certificate of outlet, and GIS data. Please see page I-21 and I-22 on the stormwater standards.

Respectfully submitted,

Tyler Sonoga Civil/Environmental Engineer Department of Public Services

cc: City of Farmington Hills, J. Cubera



INTEROFFICE CORRESPONDENCE

DATE: October 4, 2024

TO: Planning Commission

FROM: Jason Baloga, Fire Marshal

SUBJECT: Site Plan 59-9-2024 (24300 Drake)

Multiple street obstructions are proposed. The Fire and Engineering Departments will not accept break away bollards. The proponent may want to consider Knox key/yelp option for emergency access through the gate.

After the above items are addressed, the Fire Department will have no objection contingent upon compliance with the following requirements:

- 1. Site shall accommodate fire apparatus with a fifty-foot (50') turning radius.
- 2. The minimum clearance between the finished roadway surface and any overhead obstruction shall be 13'6".
- 3. Building shall be maintained in accordance with the minimum Fire Prevention Code requirements.

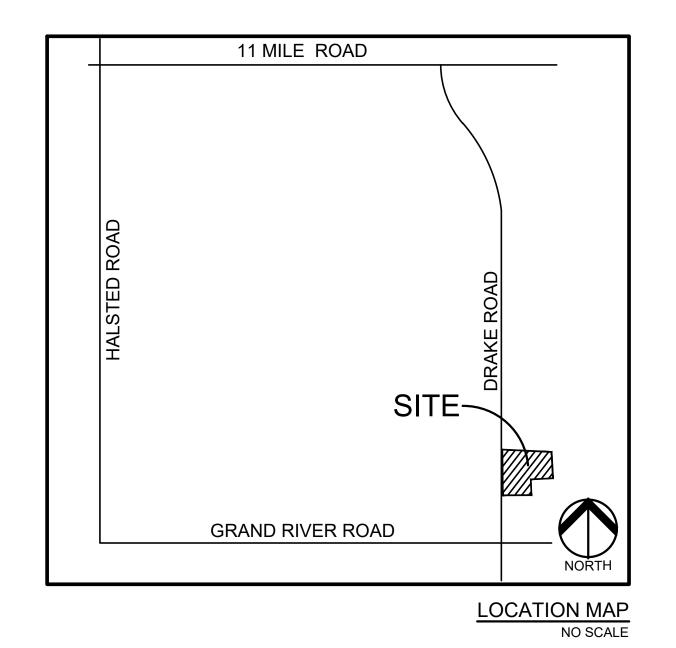
Jason Baloga, Fire Marshal

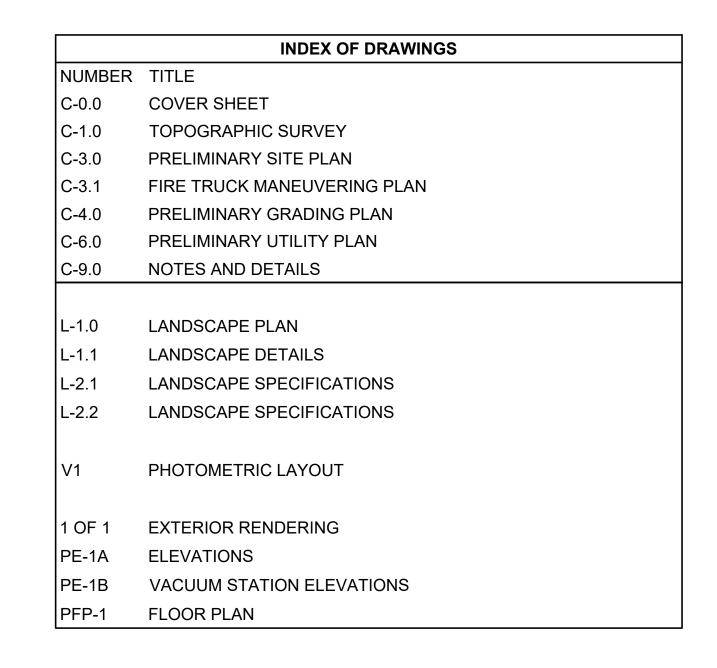
JAX KAR WASH - FARMINGTON HILLS

24300 DRAKE ROAD FARMINGTON HILLS, MI









DESIGN TEAM

DEVELOPER BMW KAR WASH, LLC

26777 CENTER PARK BOULEVARD SUITE: 150 SOUTHFIELD, MI 48076 CONTACT: TODD GESUND PHONE: 248.314.5565 EMAIL: TODD@JAXKARWASH.NET

ARCHITECT

F.A. STUDIO 26261 EVERGREEN ROAD, SUITE #123 SOUTHFIELD, MI 48076 CONTACT: DAVID BRINKMEIER PHONE: 248.619.2354 EMAIL: DBRINKMEIER@FASTUDIO.COM

CIVIL ENGINEER

PERMIT / APPROVAL SUMMARY

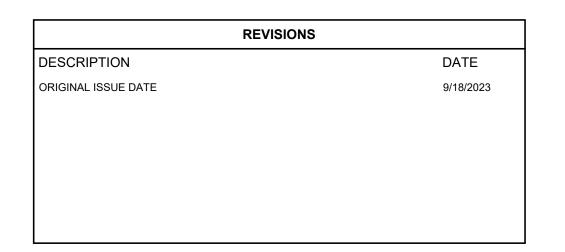
DATE SUBMITTED DATE APPROVED PERMIT / APPROVAL

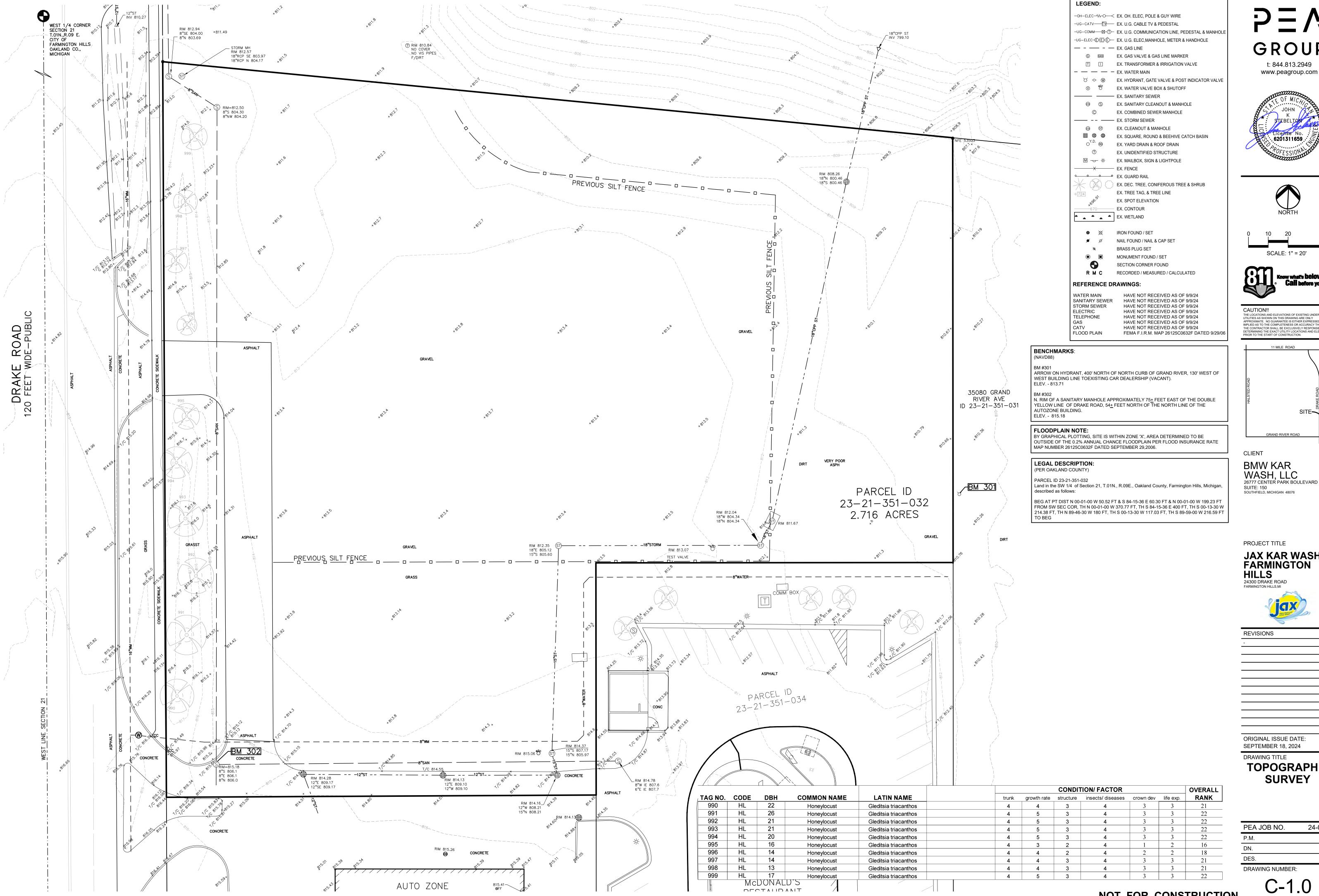
PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM

LANDSCAPE ARCHITECT

PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM

GROUP

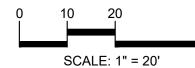




GROUP

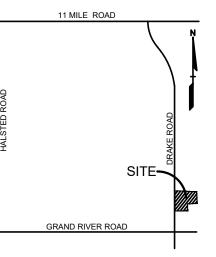








THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGUTILITIES AS SHOWN ON THIS DRAWING ARE ONLY UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY
APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS
PRIOR TO THE START OF CONSTRUCTION.



BMW KAR WASH, LLC 26777 CENTER PARK BOULEVARD SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE

JAX KAR WASH -FARMINGTON HILLS
24300 DRAKE ROAD
FARMINGTON HILLS,MI

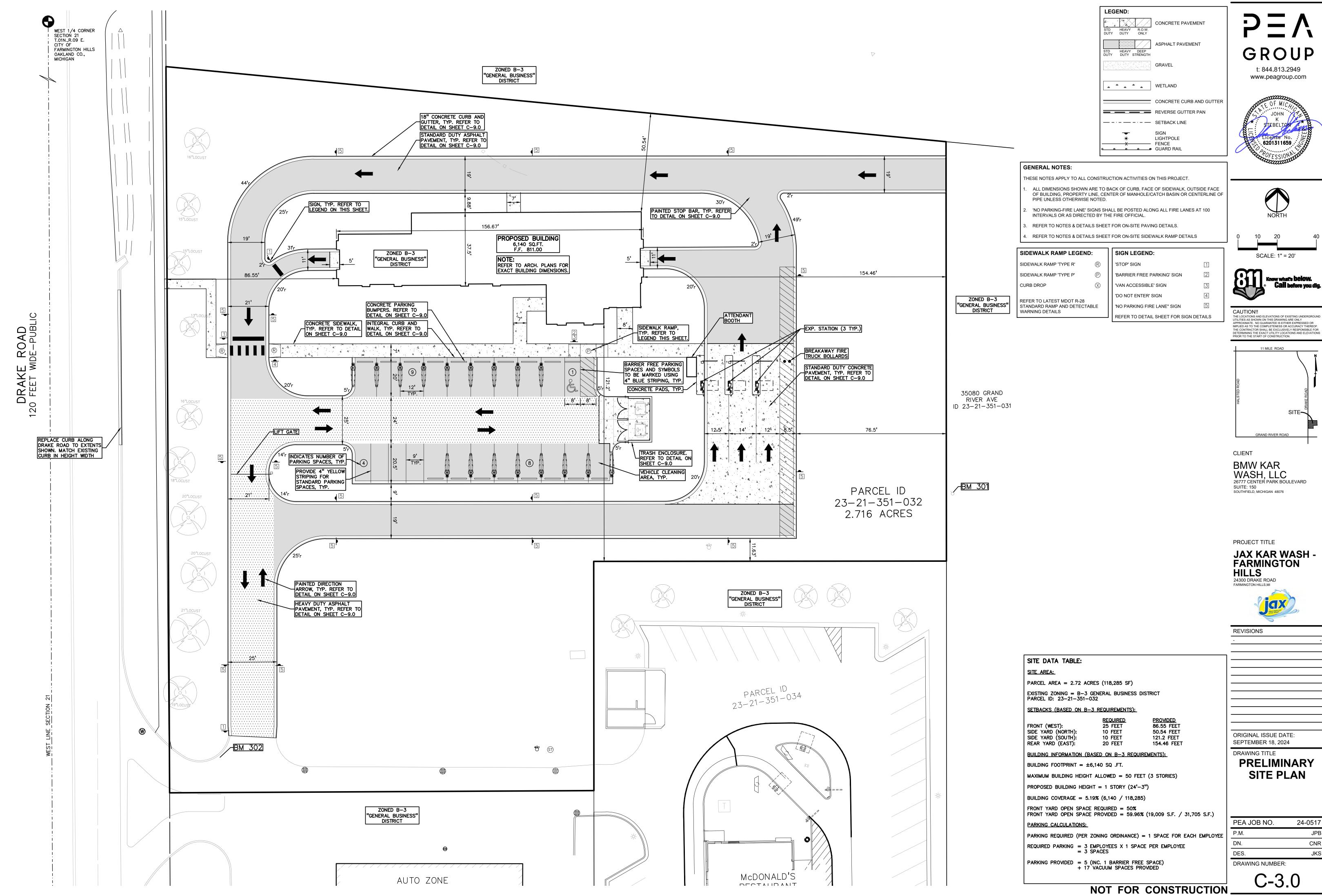


SEPTEMBER 18, 2024 DRAWING TITLE

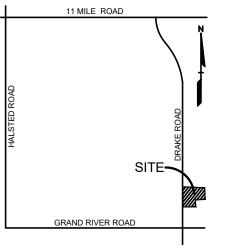
TOPOGRAPHIC SURVEY

PEA JOB NO. 24-0517 CNR JKS DRAWING NUMBER:

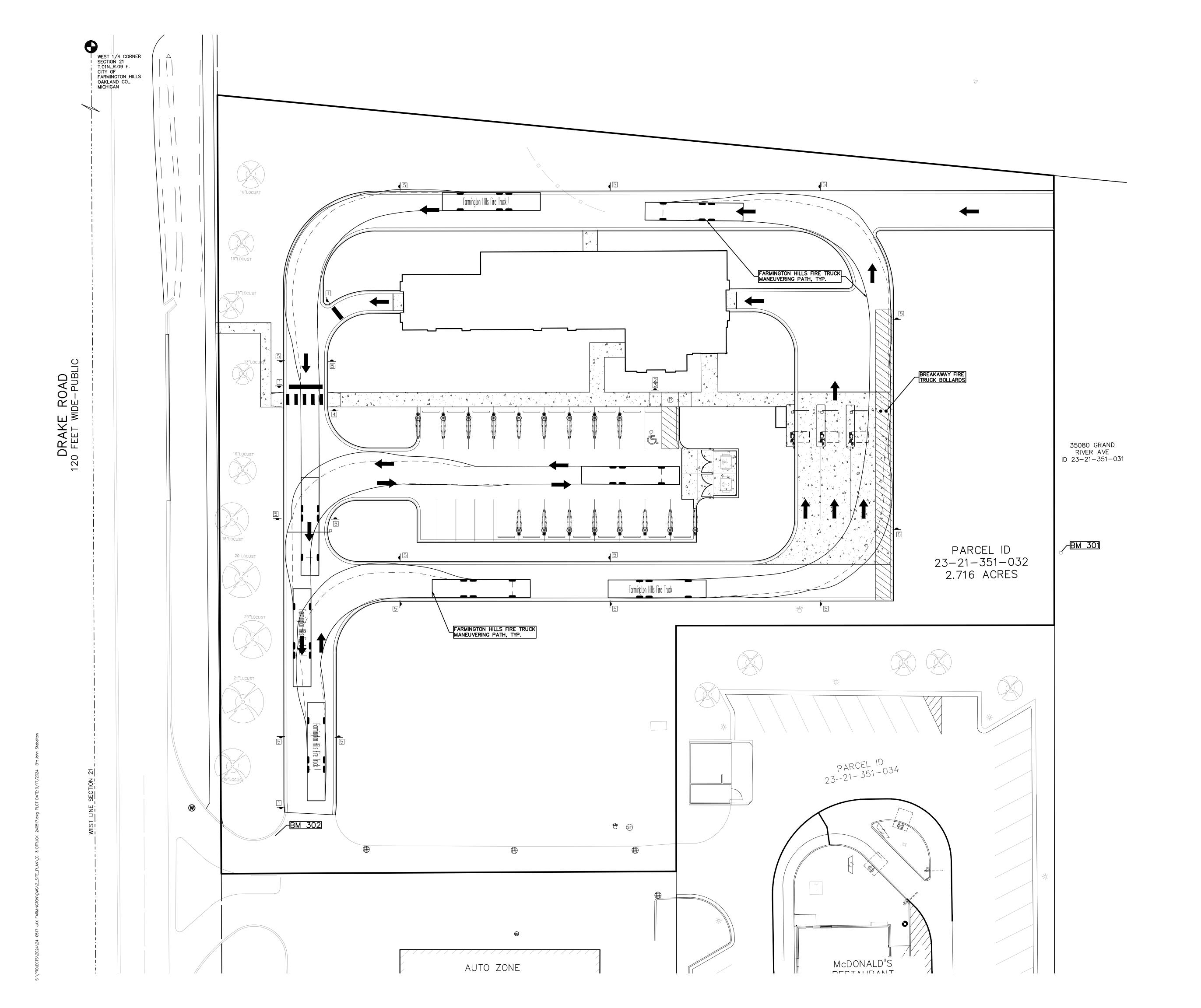
NOT FOR CONSTRUCTION

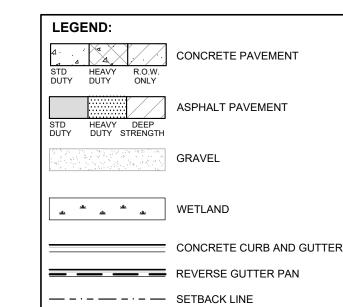






24-0517 JPB CNR JKS





GUARD RAIL

SIGN LEGEND:

'STOP' SIGN

'BARRIER FREE PARKING' SIGN

'VAN ACCESSIBLE' SIGN

'DO NOT ENTER' SIGN

'NO PARKING FIRE LANE" SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS

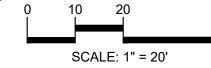
X FENCE

SIGN LIGHTPOLE





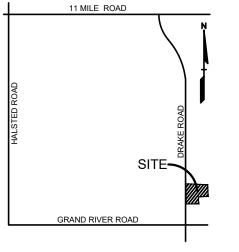






CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY
APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

BMW KAR

WASH, LLC

26777 CENTER PARK BOULEVARD
SUITE: 150
SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE

JAX KAR WASH FARMINGTON
HILLS
24300 DRAKE ROAD
FARMINGTON HILLS,MI



EVISIONS
-
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ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2024

DRAWING TITLE

FIRE TRUCK

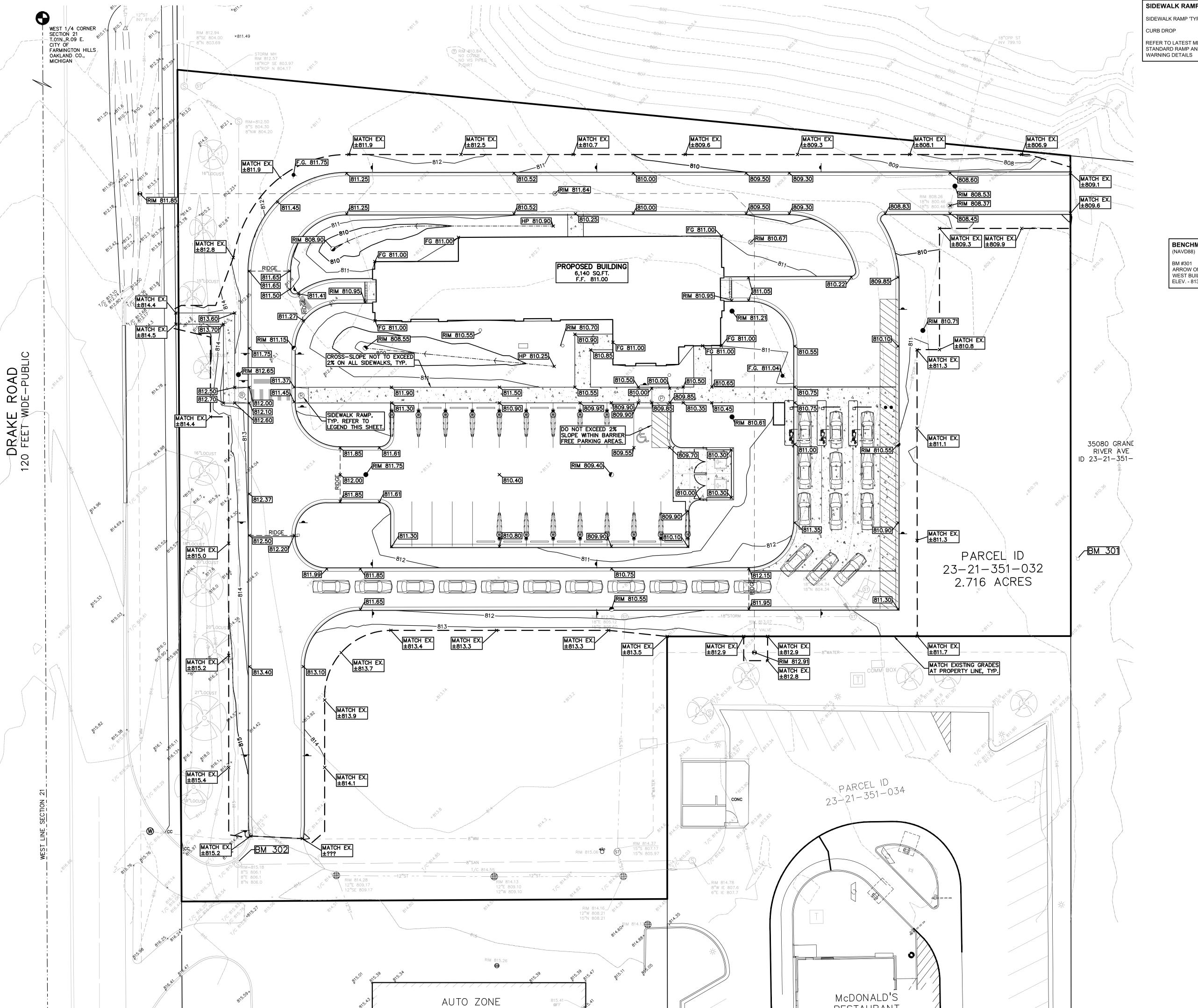
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PLA	N
A JOB NO.	24-0517

P.M. JPB
DN. CNR
DES. JKS
DRAWING NUMBER:

. C-3.



SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE P'

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE **GRADING LEGEND:** EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION:

TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.

EXISTING CONTOUR

——922—— PROPOSED CONTOUR PROPOSED REVERSE GUTTER PAI

- - - - PROPOSED RIDGE LINE

----- PROPOSED SWALE/DITCH

ABBREVIATIONS T/C = TOP OF CURB

G = GUTTER GRADE T/P = TOP OF PAVEMENT F.G. = FINISH GRADE T/S = TOP OF SIDEWALK RIM = RIM ELEVATION T/W = TOP OF WALL B/W = BOTTOM OF WALL REFER TO GRADING NOTES ON SHEET C-9.0

EARTHWORK BALANCING NOTE:

HE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

BENCHMARKS: (NAVD88)

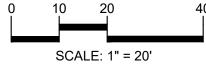
ARROW ON HYDRANT, 400' NORTH OF NORTH CURB OF GRAND RIVER, 130' WEST OF WEST BUILDING LINE TOEXISTING CAR DEALERSHIP (VACANT).

GROUP

t: 844.813.2949 www.peagroup.com

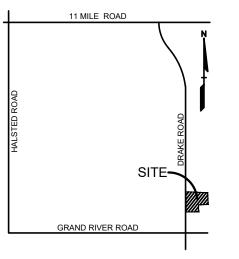








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PRIOR TO THE START OF CONSTRUCTION.



CLIENT BMW KAR WASH, LLC 26777 CENTER PARK BOULEVARD SUITE: 150 SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE

JAX KAR WASH -FARMINGTON HILLS 24300 DRAKE ROAD FARMINGTON HILLS,MI



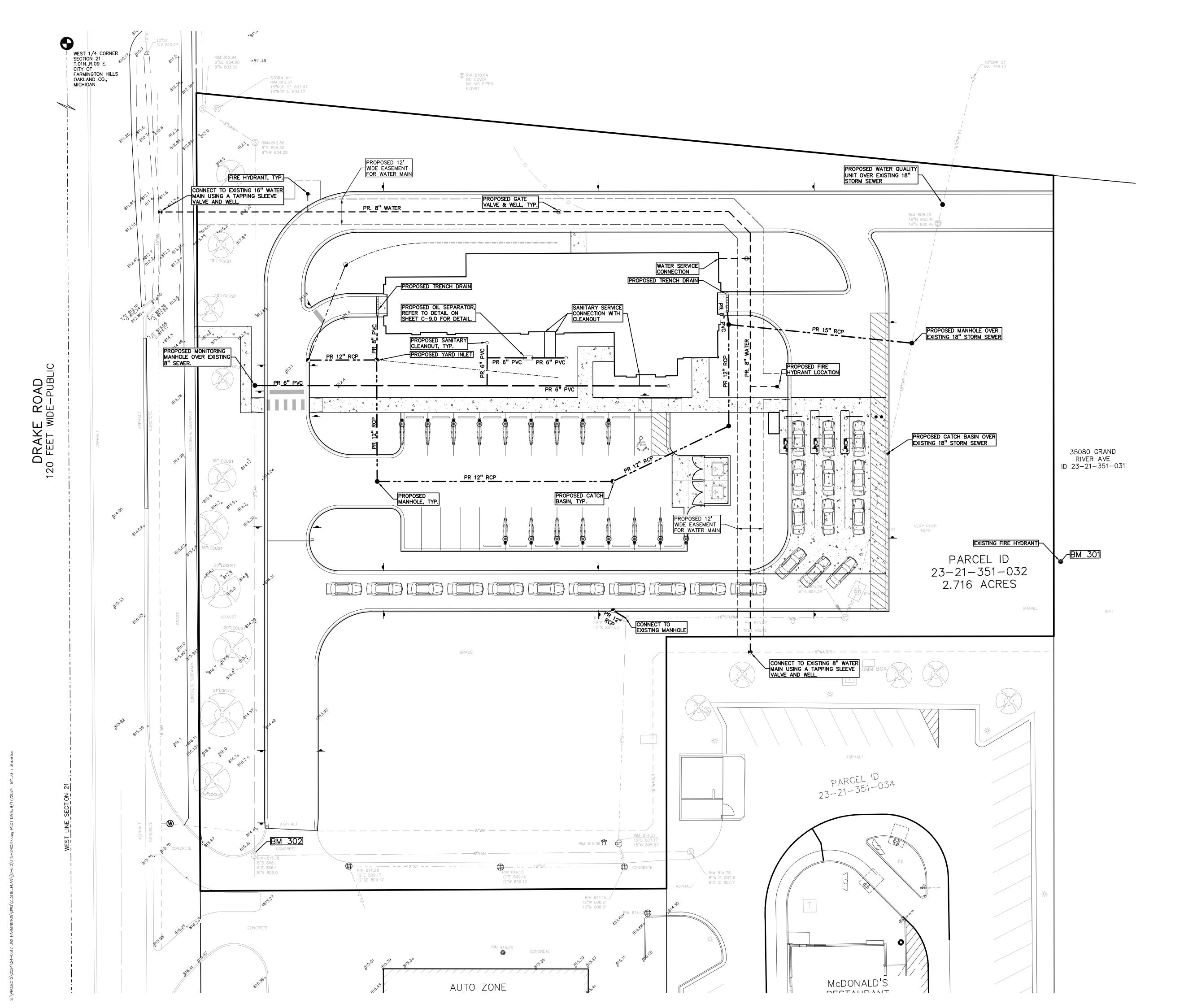
ORIGINAL ISSUE DATE:

SEPTEMBER 18, 2024 DRAWING TITLE

PRELIMINARY GRADING PLAN

PEA JOB NO. 24-0517 DRAWING NUMBER:

C-4.0



UTILITY LEGEND:

-OH-ELEC-W-O- EX. OH. ELEC, POLE & GUY WIRE
-UG-CATV- EX. U.G. CABLE TV & PEDESTAL

-UG-COMM——⊠-①— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOL
-UG-ELEC-©-E(E)— EX. U.G. ELEC,MANHOLE, METER & HANDHOLE

— — — — EX. GAS LINE

© ■ ■ EX. GAS VALVE & GAS LINE MARKER

EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE

EX. WATER VALVE BOX & SHUTOFF

EX. SANITARY SEWER

EX. SANITARY CLEANOUT & MANHOLE

S EX. SANITARY CLEANOUT & MANHOLE
 EX. COMBINED SEWER MANHOLE
 EX. STORM SEWER
 STORM SEWER

EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN

EX. YARD DRAIN & ROOF DRAIN

EX. UNIDENTIFIED STRUCTURE

PROPOSED WATER MAIN

PROPOSED HYDRANT AND GATE VALVE

PROPOSED TAPPING SLEEVE, VALVE & WELL
PROPOSED POST INDICATOR VALVE
PROPOSED SANITARY SEWER
PROPOSED SANITARY CLEANOUT & MANHOLE

PROPOSED SANITARY CLEANOUT & MANHOLE

PROPOSED STORM SEWER

OC.O. PROPOSED STORM SEWER CLEANOUT & MANHOLE

PROPOSED CATCH BASIN, INLET & YARD DRAIN

STORMWATER MANAGEMENT NOTE:

STORMWATER MANAGEMENT FOR THE PROPOSED SITE IS HANDLED BY THE EXISTING DETENTION BASIN LOCATED OFF-SITE. THE PROPOSED DEVELOPMENT WILL INSTALL AN INLINE STORM WATER QUALITY UNIT PRIOR TO DISCHARGE OFF-SITE.

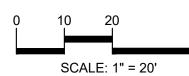




t: 844.813.2949



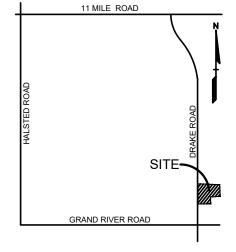






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CLIENT

BMW KAR

WASH, LLC

26777 CENTER PARK BOULEVARD
SUITE: 150
SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE

JAX KAR WASH -FARMINGTON HILLS 24300 DRAKE ROAD FARMINGTON HILLS,MI



REVISIONS

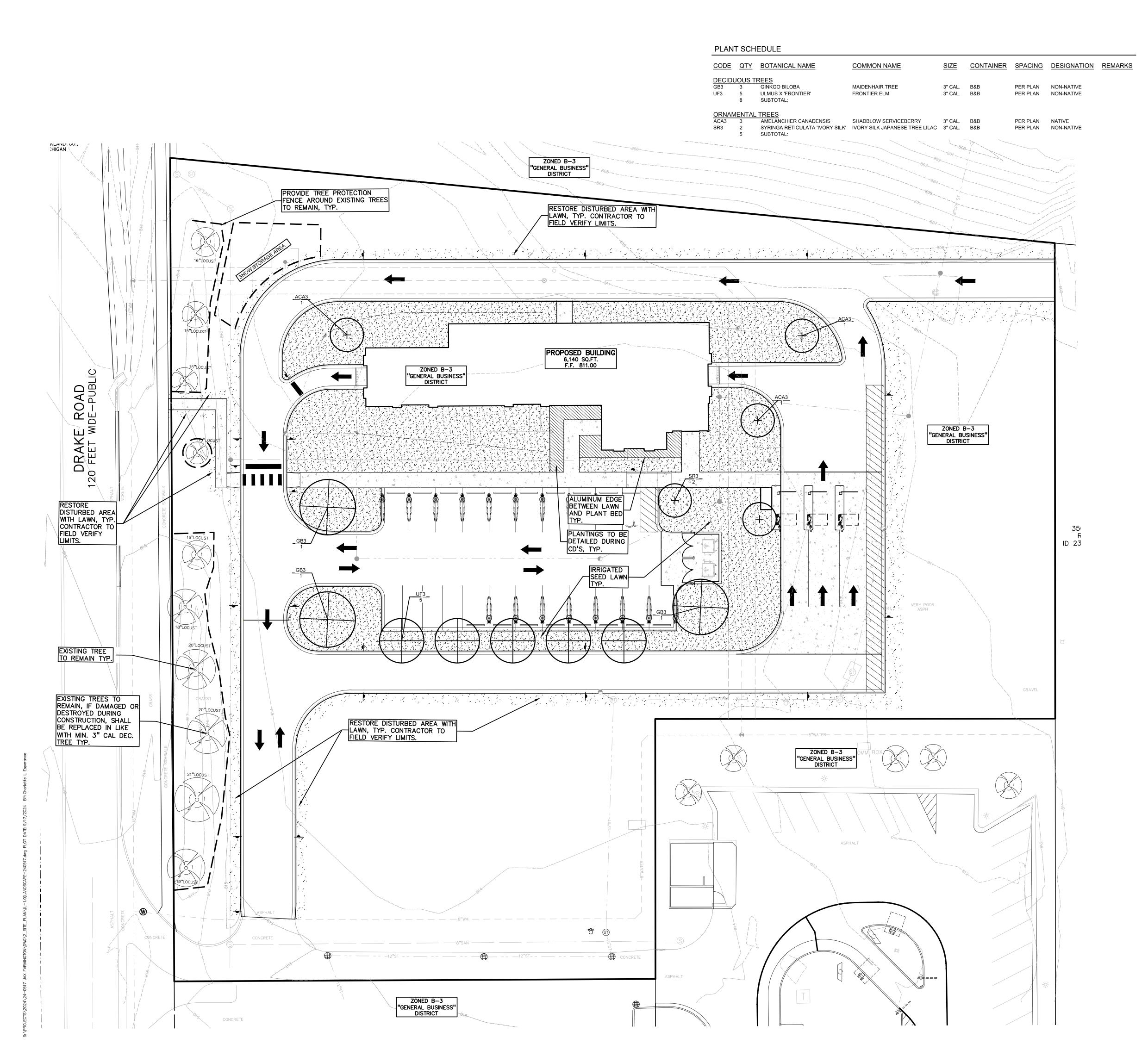
ORIGINAL ISSUE DATE: SEPTEMBER 18, 2024 DRAWING TITLE

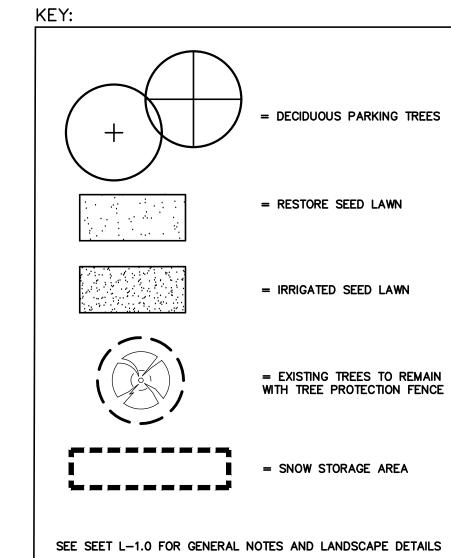
PRELIMINARY UTILITY PLAN

PEA JOB NO.	24-0517
P.M.	JPB
DN.	CNR
DES.	JKS
DRAWING NUMBER:	

NOT FOR CONSTRUCTION ____

C-6.0





LANDSCAPE CALCULATIONS: PER THE CITY OF FARMINGTON HILLS ZONING ORDINANCE (EXISTING ZONING B-3 COMMUNITY BUSINESS DISTRICT)

PARKING LOT LANDSCAPE = P

REQUIRED: 1, 3" CAL. DEC. CANOPY TREE FOR EVERY 2,800 SF OF PAVEMENT. (180 SF MIN. PARKING LOT ISLAND; SEPARATE PARKING LOT FROM PUBLIC THOROUGHFARE W/CONTINUOUS 2' HT. HEDGE/WALL OR BERM ALONG R.O.W.) 34,927 SF AREA OF PVMT. EXP./ 2,800 = 13 TREES REQUIRED

REQUIRED: 13 DECIDUOUS TREES PROVIDED: 13 PROPOSED DECIDUOUS

$\underline{\mathsf{GREENBELT}\;\;\mathsf{BUFFER}\;=\;\mathsf{G}}$

REQUIRED: NONE PER CITY ORDINANCE (PROVIDE ENHANCED BUFFER GREENBELT LANDSCAPE)

DRAKE ROAD: 10 EXISTING TREES (OUTSIDE CONSTRUCTION LIMITS)

BUFFER/SCREENING BETWEEN USES = B

REQUIRED: PLANTINGS AND 6' HT. WALL OR BERM BETWEEN B-2/B-3 DISTRICT AND RC-2 DISTRICT

NO BUFFER NECESSARY DUE TO SAME ZONING SURROUNDING SITE.

REPLACEMENT TREES (WITH 3" DEC. TREE OR 10' HT. EVG) REQUIRED:

REGULATED TREES REMOVED: REPLACE 1:1

LANDMARK TREES REMOVED: REPLACE DBH x 0.25 (TREE FUND AT \$ 400.00 RATE PER TREE)

PROVIDED: NONE REQUIRED OR PROVIDED, NO TREES REMOVED.

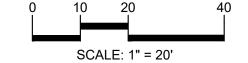
All 10 EXISTING TREES ARE HONEY LOCUST, DBH RANGING FROM 15"-21", AND IN GOOD CONDITION.

NOTES PER FARMINGTON HILLS:

- ☐ The following notes must be included on the plan:
- A Tree Permit must be obtained from the Planning Office prior to all tree removal activity involving trees six inches (6") or more DBH in accordance with the City of
- Farmington Hills Zoning Chapter 34-559.
- Trees must be planted no closer than six feet (6') to public utilities. All required landscape material indicated on approved plans will be required through the
- life of the project and must be replaced if removed or dead. • 4 foot (4') high wood snow fencing or other rigid material is to be erected around the
- drip line of all trees to be saved in accordance with the City of Farmington Hill Zoning Ordinance Chapter 34-5.18. Required landscape material shall satisfy American Association of Nurseryman Standards and be:
- a. Nursery grown.
- a. Nursery grown.
 b. State Department of Agriculture inspected.
 c. No. 1 grade with straight unscarred trunk and well developed uniform crown (park grade trees will not be accepted).
 d. Planted per City of Farmington Hills details and specifications and in accordance with City of Farmington Hills Chapter 34-5.14.
- e. Guaranteed for one year.
- **f.** Replacement trees shall have shade potential and other characteristics comparable to the trees proposed for removal.

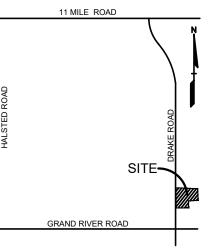








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CLIENT

WASH, LLC 26777 CENTER PARK BOULEVARD SUITE: 150 SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE

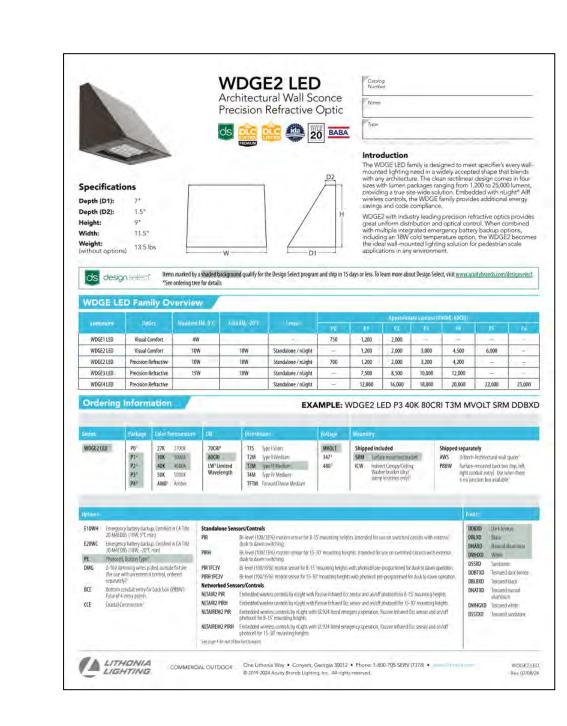
JAX KAR WASH -FARMINGTON HILLS 24300 DRAKE ROAD FARMINGTON HILLS,MI



ORIGINAL ISSUE DATE: SEPTEMBER 18, 2024 DRAWING TITLE

LANDSCAPE PLAN

PEA JOB NO.	24-0517
P.M.	JPE
DN.	CAL
DES.	JLE
DRAWING NUMBER:	



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bypass Lane	Ж	1.0 fc	2.8 fc	0.2 fc	14.0:1	5.0:1
Drive Through/Pay Lane	Ж	1.1 fc	3.0 fc	0.4 fc	7.5:1	2.8:1
Overall	+	0.6 fc	4.4 fc	0.0 fc	N/A	N/A
Parking/Vacuums	Ж	1.4 fc	2.8 fc	0.6 fc	4.7:1	2.3:1
Boundary	+	0.1 fc	0.3 fc	0.0 fc	N/A	N/A

Schedul	e								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Mounting Height
	S1	1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T4M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 4 Medium	13968	0.9	102.17	25'
	S2	1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T2M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 2 Medium	13605	0.9	102.17	25'
	S3	2	Lithonia Lighting	DSX1 LED P3 40K 70CRI T2M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 2 Medium	13605	0.9	204.34	25'
	W1	6	Lithonia Lighting	WDGE2 LED P4 40K 70CRI T3M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 3 MEDIUM OPTIC	4817	0.9	46.658 9	12'

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.

2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR. 3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL

Ordering Note FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-

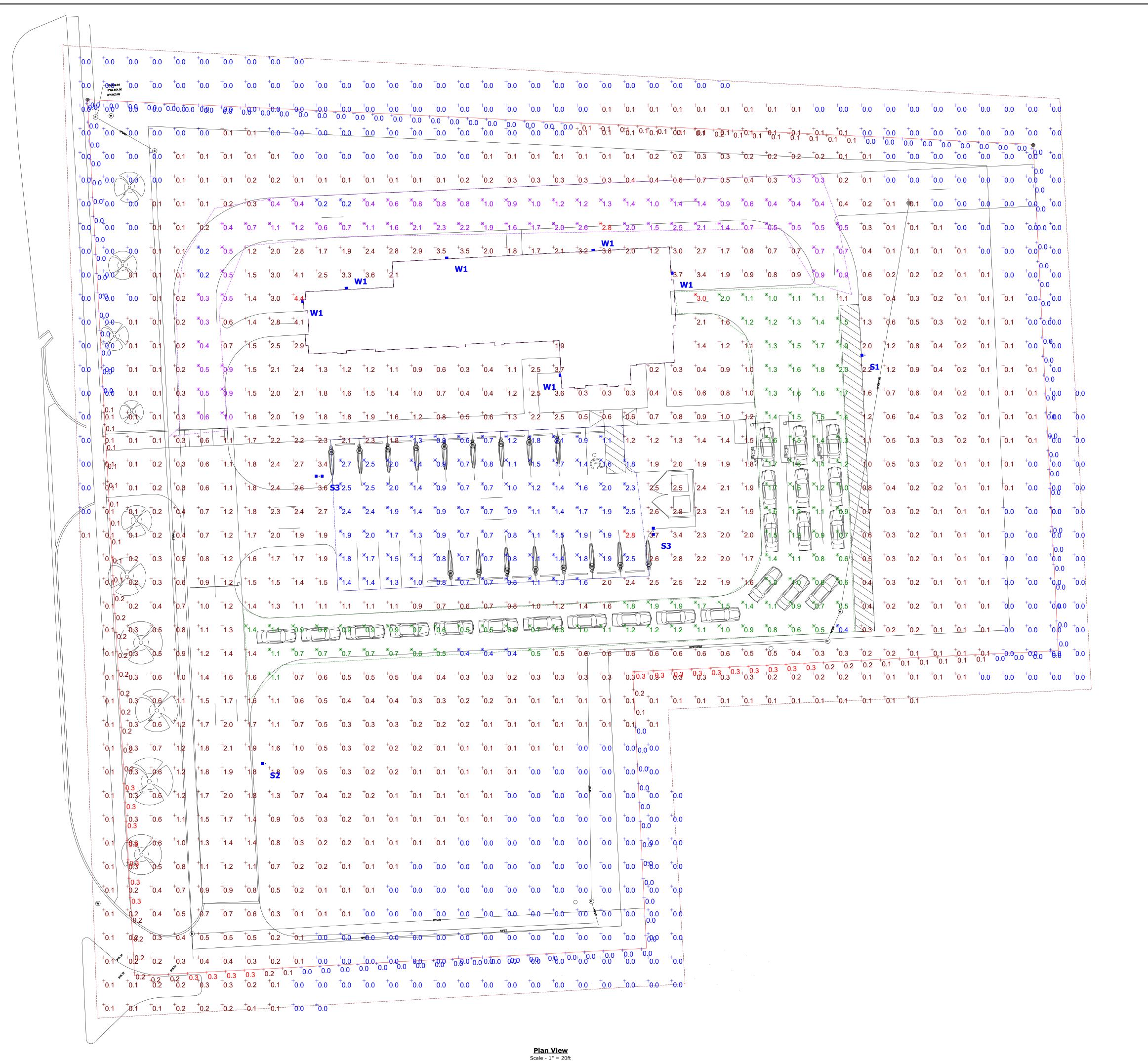
Drawing Note

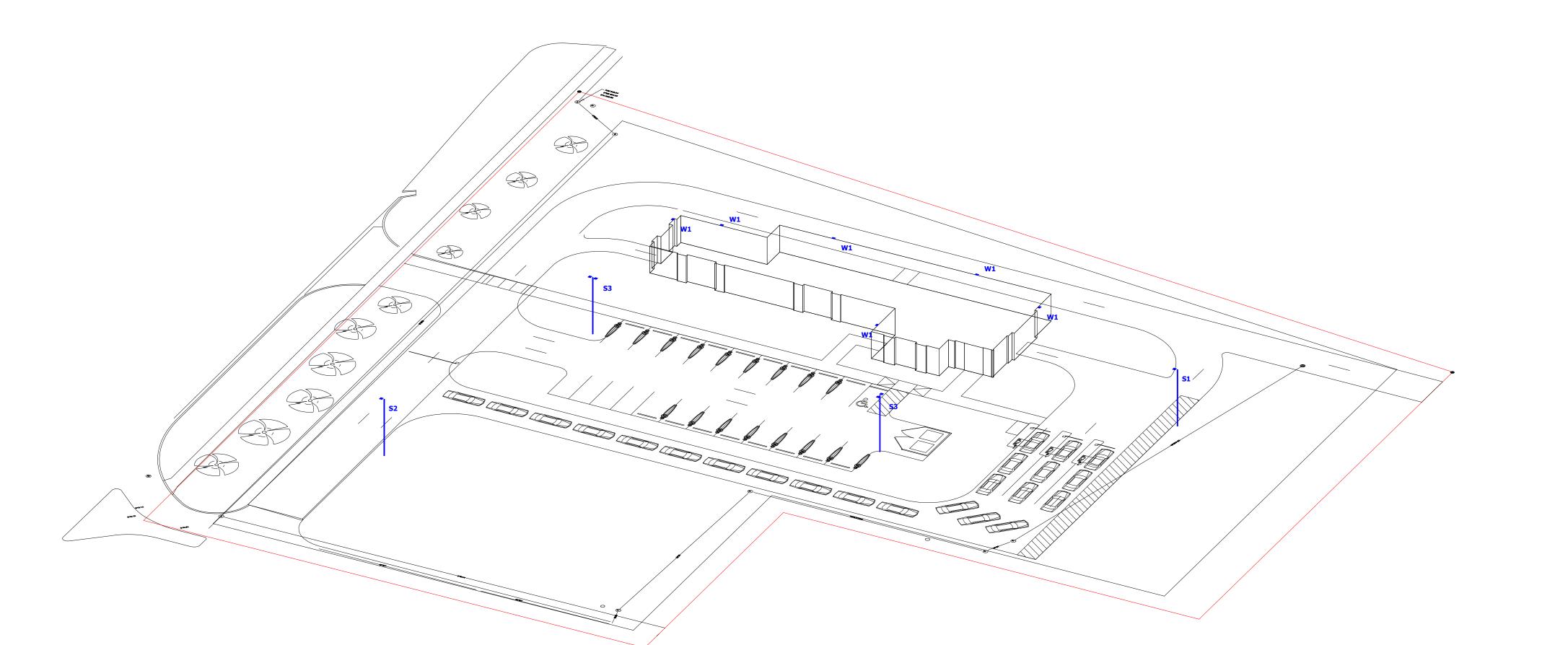
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Date 09/16/2024 Scale Not to Scale Drawing No. #24-33767_V1





South East View

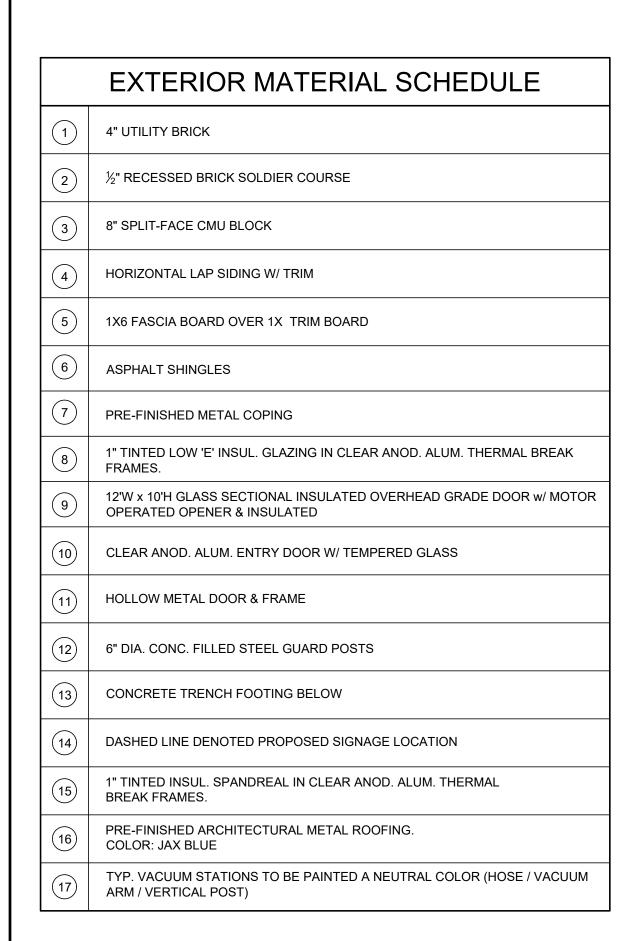


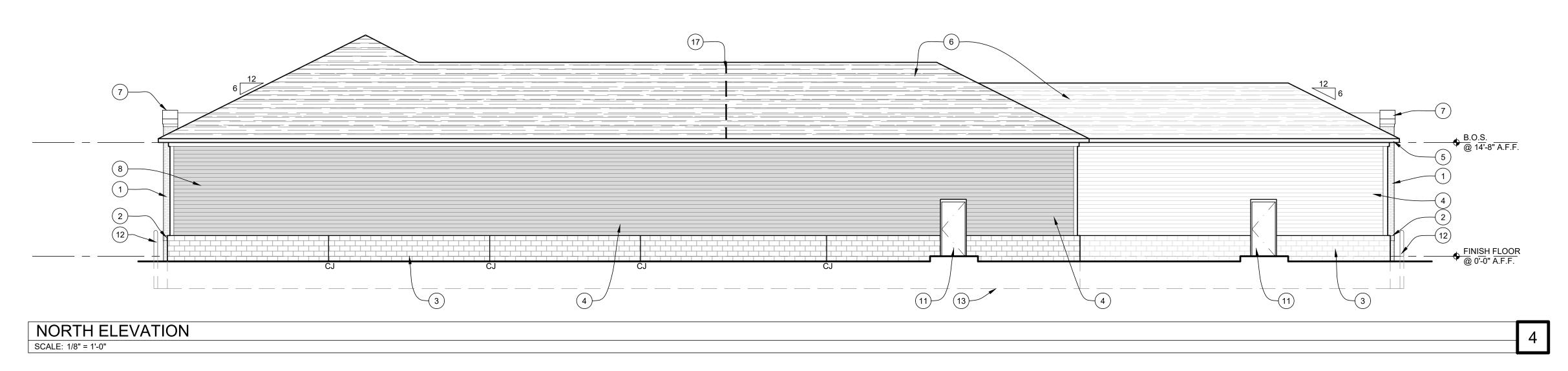


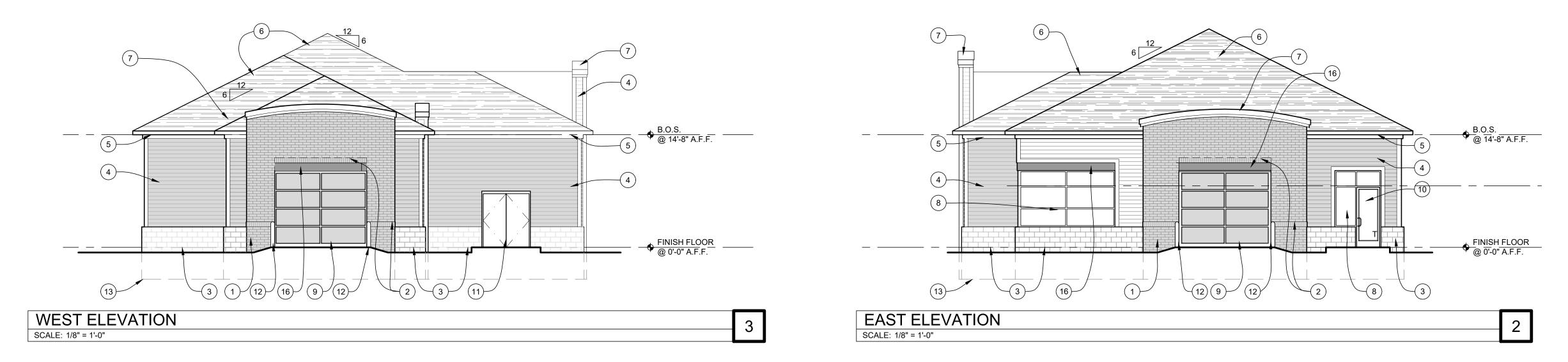


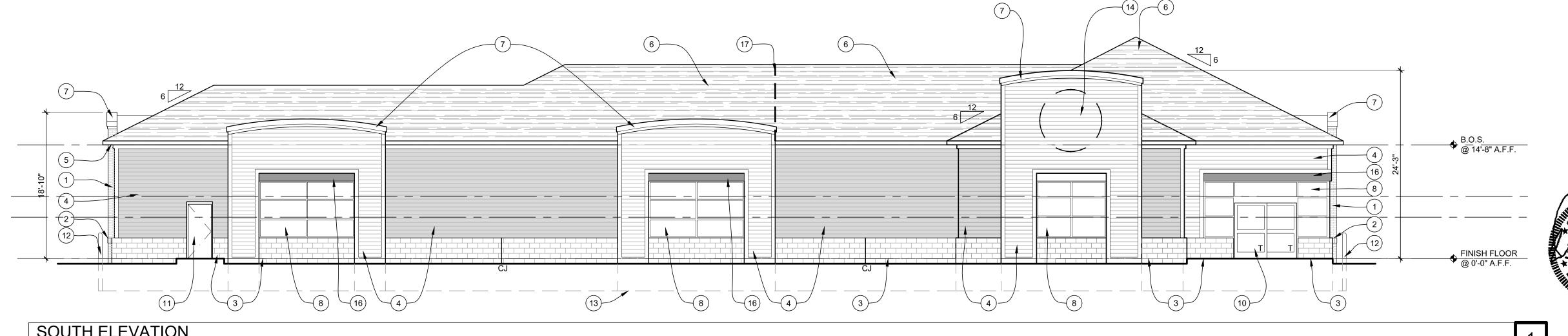












9-9-24 PROJECT NUMBER:

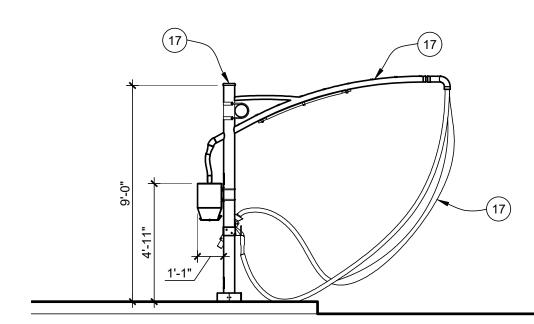
JAX KAR WASH
FARMINGTON HILLS, MI

24078 SHEET NUMBER: PE-1A

SOUTH ELEVATION

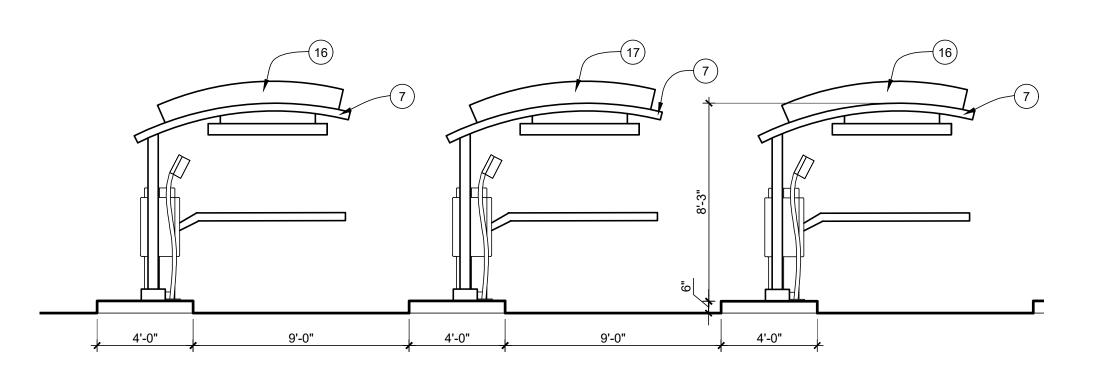
SCALE: 1/8" = 1'-0"

© 2022, F.A.studio, LLC. EXTERIOR MATERIAL SCHEDULE A.Studio 4" UTILITY BRICK (2) ½" RECESSED BRICK SOLDIER COURSE 8" SPLIT-FACE CMU BLOCK 4 HORIZONTAL LAP SIDING W/ TRIM 5 1X6 FASCIA BOARD OVER 1X TRIM BOARD (6) ASPHALT SHINGLES 7 PRE-FINISHED METAL COPING 1" TINTED LOW 'E' INSUL. GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK 12'W x 10'H GLASS SECTIONAL INSULATED OVERHEAD GRADE DOOR w/ MOTOR OPERATED OPENER & INSULATED (10) CLEAR ANOD. ALUM. ENTRY DOOR W/ TEMPERED GLASS (11) HOLLOW METAL DOOR & FRAME (12) 6" DIA. CONC. FILLED STEEL GUARD POSTS (13) CONCRETE TRENCH FOOTING BELOW (14) DASHED LINE DENOTED PROPOSED SIGNAGE LOCATION 1" TINTED INSUL. SPANDREAL IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES. PRE-FINISHED ARCHITECTURAL METAL ROOFING. COLOR: JAX BLUE TYP. VACUUM STATIONS TO BE PAINTED A NEUTRAL COLOR (HOSE / VACUUM ARM / VERTICAL POST)

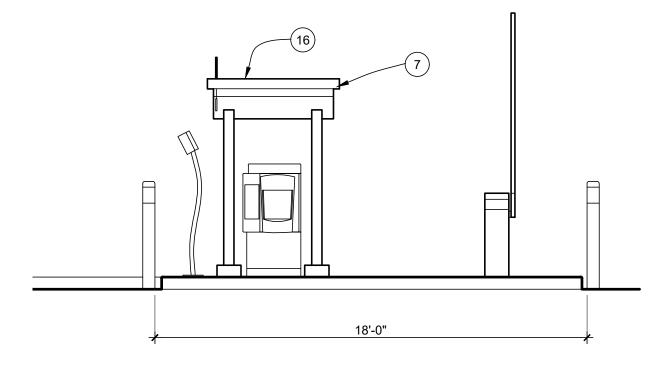


TYP. VACUUM STATION ELEVATION

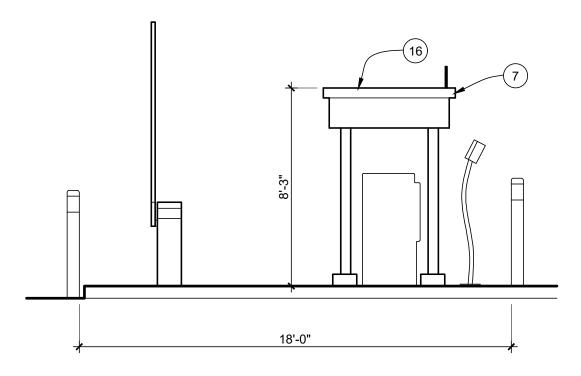
SCALE: 1/4" = 1'-0"



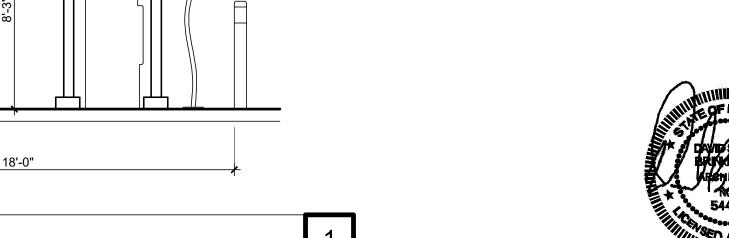
SOUTH ELEVATION SCALE: 1/4" = 1'-0"

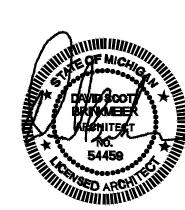


EAST ELEVATION SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

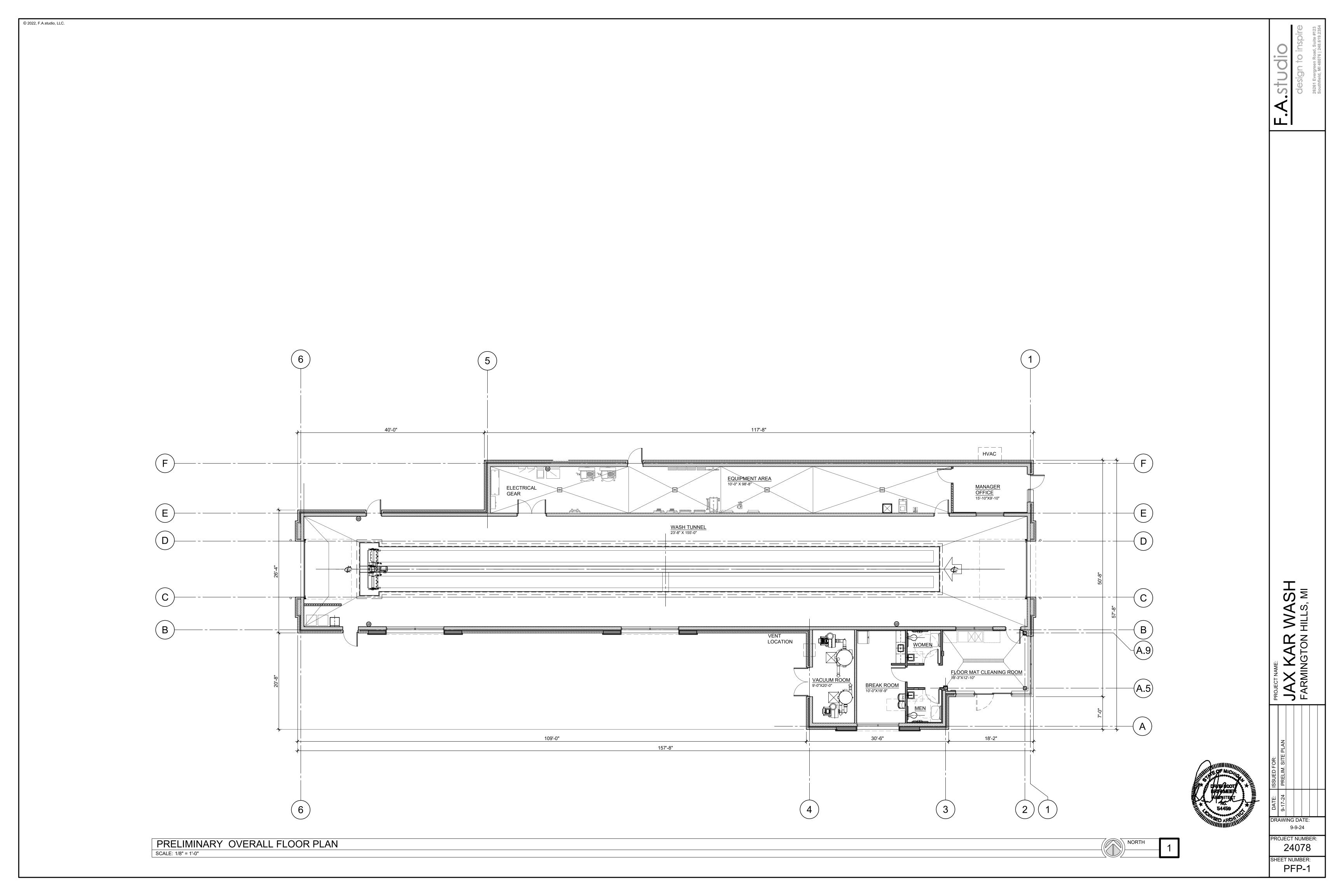




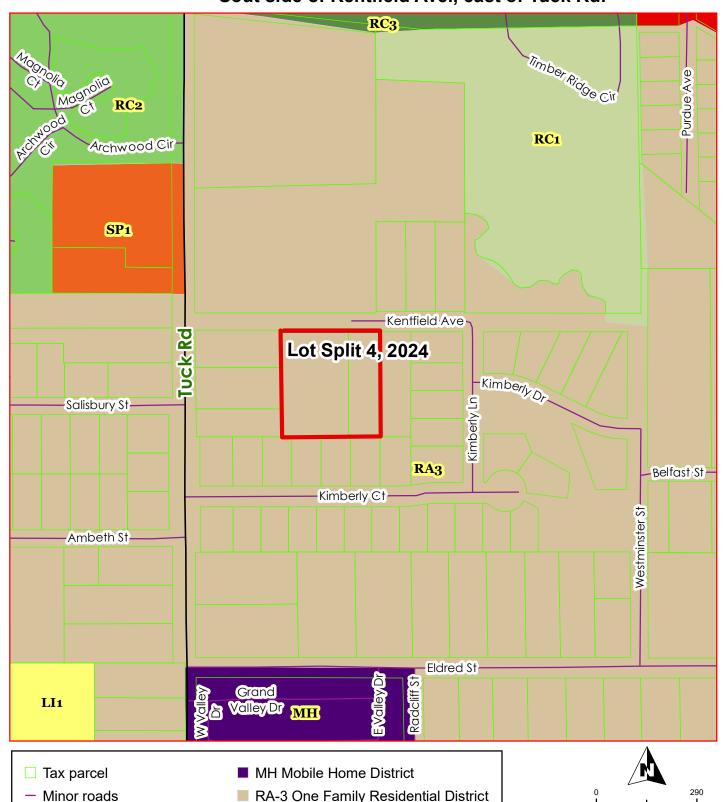
JAX KAR WASH FARMINGTON HILLS, MI 9-17-24 ROJECT NUMBER:

24078

SHEET NUMBER: PE-1B



Lot Split 4, 2024, (Final) 35-402-056 & 057, RA-3 Sout side of Kentfield Ave., east of Tuck Rd.





- **B-3 General Business District**
- LI-1 Light Industrial District
- RA-3 One Family Residential District
- RC-1 Multiple Family Residential
- RC-2 Multiple Family Residential
- RC-3 Multiple Family Residential
- SP-1 Special Purpose District



SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



Lot Split 4, 2024, (Final) 35-402-056 & 057, RA-3 Sout side of Kentfield Ave., east of Tuck Rd.



Planning Division

☐ Tax parcel





SOURCE: City of Farmington Hills, 2024 Oakland County GIS, 2024

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October 9, 2024
Farmington Hills Planning and Community Development Department 31555 W 11 Mile Rd
Farmington Hills, MI 48336

Lot Split Review

Case: Lot Split 4, 2024

Site: South Side of Kentfield Avenue, just east of Tuck Road (22-23-35-402-056 and -057)

Applicant: Terry Sever

Plan Date: September 5, 2023

Zoning: RA-3

We have completed a review of the application for a lot split referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



Date: 10/9/2024 Project: Lot Split 4, 2024

Page: 2

SUMMARY OF FINDINGS

Existing Conditions

The applicant is seeking to combine two existing parcels and then split them into three parcels to facilitate the construction of three single family homes. The two subject parcels were part of a lot split in January, and this division would result in the original parent parcel being split into four separate lots, the maximum number of parcels that may be split from the parent parcel within a ten year period.

- 1. **Zoning.** The two subject parcels are Parcel 22-23-35-402-056 (1.33 acres) and Parcel 22-23-35-402-057 (0.625 acres). The lots are zoned RA-3 One Family Residential.
- 2. **Existing site.** The property is vacant. Wetland maps from different sources consulted during this review show conflicting information. At a minimum, hydric soils are present on the site (see the map combining data from the National Wetlands Inventory and FEMA at the end of this letter), though we see "wetland soils" and emergent wetland on maps available from EGLE. While this does not prevent us from approving a lot split, all parties should be aware that a wetland determination will likely be needed prior to issuance of permits for construction on the new lots.
- 3. Adjacent Properties.

Direction	Zoning	Land Use
North	RA-3	Vacant
East	RA-3	Single-Family
South	RA-3	Single-Family
West	RA-3	Single-Family

Site Plan & Use:

1. **Summary of proposed split.** The split will result in three parcels:

Parcel	Frontage	Size
Parcel A	122.87' on Kentfield Ave	37,053 (0.85 acres)
Parcel B	80' on Kentfield Ave	24,223 SF (0.63 acres)
Parcel C	80' on Kentfield Ave	24,228 SF (0.63 acres)

- 2. **Site configuration and access.** At present, both parcels include frontage on Kentfield Ave. The proposed split will maintain access to each lot on Kentfield Ave.
- 3. Dimensional standards.

Standard	Required	Proposed
Min Lot Size	10,000 sq ft/12,500 avg	Min 24,223 SF
Min Lot Width	80 ft	Min 80 Ft.
Depth-to-Width Ratio	4:1	3.78:1

4. **Subdivision of Land Ordinance §27-110(2)(e), Compatibility with Existing Parcels.** In order to assure that the public health, safety, and welfare will be served by the permission of any partition or division of land the planning commission's review shall be in accordance with the following standards:

Date: 10/9/2024 Project: Lot Split 4, 2024

Page: 3

a. If any parcel does not meet zoning ordinance requirements, the request shall be denied by the planning commission.

The parcels are consistent with the Zoning Ordinance requirements for RA-3 lots.

b. Any partition or division shall be of such location, size and character that, in general, it will be compatible with the existing development in the area in which it is situated.

Parcels to the north and west of the subject lots include a variety of sizes, proportions, and widths. These parcels are predominantly vacant, with the exception of one single-family home to the west.

However, parcels to the south and east along Kimberly Court and Kimberly Lane are of smaller lots sizes that are generally consistent, with a range between 12,000 and 15,000 sf, and lot widths between 80' and 90'. These houses are part of the Kimberly Gardens Condominium.

Although the proposed land divisions create lots with greater depth and area than the surrounding lots on Kimberly Court and Kimberly Lane, this is due to the extent of the parent parcels. The frontage of Parcels B and C will be consistent with the surrounding lots. The land division will reduce the incompatibilities in lot size presented by the parent parcels.

- c. The planning commission shall give consideration to the following:
 - 1. The conformity of the resultant parcels with zoning ordinance standards and the creation of parcels compatible with surrounding lands as to area, width, and width-to-depth ratio.

As noted above, these lots are consistent with the zoning ordinance standards. Although substantially deeper than the surrounding lots, the proposed new parcels B and C are much more similar to other lots in the neighborhood in terms of frontage than the existing parent parcels. With that, at 3.78:1, the depth-to-width ratio is close to the maximum.

- 2. The orientation of the yards of proposed parcels in relationship to the yards of surrounding parcels in order to avoid incompatible relationships, such as but not limited to, front yards to rear yards.
 - The proposed division will not result in any changes that will create new or exacerbate existing incompatible relationships with respect to yard orientation.
- 3. The impact of any existing flood plains, wetlands, topography, or other natural features and physical conditions on the resulting parcels so that such parcels are compatible with other surrounding lands in terms of buildable area.

The site appears to be substantially impacted by the presence of wetland soils and the buildability of the proposed lots should be confirmed by conducting a wetland delineation following the guidelines established by the Michigan Department of the

Date: 10/9/2024 Project: Lot Split 4, 2024

Page: 4

Environment, Great Lakes, and Energy (EGLE).

4. The relationship of the front, side, and rear yards to the yards and orientation of buildings on other existing and potential parcels. This shall include the probable orientation of buildings on the parcels resulting from the proposed division or partition. The requested split creates lots with similar frontage to those already developed along Kimberley Court and Kimberley Lane, albeit with greater lot depth.

We are available to answer questions.

Respectfully,

Giffels Webster

Joe Tangari, AICP Principal Planner Julia Upfal, AICP Senior Planner

Date: 10/9/2024 Project: Lot Split 4, 2024 Page: 5

Hydric Soils

1% Annual Chance Flood Hazard

0.2% Annual Chance Flood Hazard

Regulatory Floodway

Surface Water

Wetlands

Subject Site

Date: 10/9/2024 Project: Lot Split 4, 2024

Page: 6







INTEROFFICE CORRESPONDENCE

DATE:

October 4, 2024

TO:

Planning Commission

FROM:

James Cubera, City Engineer

SUBJECT:

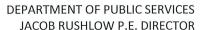
Kentfield Lot Split

Lot Split 4-2024

22-23-35-402-056 & 057

This office has performed a preliminary review of the above referenced lot split plan submitted to the Planning Department on December 18, 2023. The plan must meet the requirements of the Section 27 of the City Code (Section C-11-99) which became effective on January 3, 2000. Note that under section 27-130-2c-1, a signed approval of the Engineering Division indicating compliance of section 27-110, Paragraph 2 (H) is necessary. Our preliminary comments are as follows:

- 1. The plan appears to be the combining of two parcels and the splitting the two into three resultant parcels.
- 2. Public sanitary sewer currently exists across the entire frontage of the parent parcels. Individual sewer leads will be required for all resultant parcels prior to this split being approved by Engineering.
- 3. Public water main exists on Kentfield Avenue east of resultant parcel A and ends in the vicinity of the proposed common property line of resultant parcel A and resultant parcel B. This watermain must be extended to the west property line of the parent parcel. It is suggested that the proponent loop the 8" watermain with the 8" watermain on the east side of Tuck Road.
- 4. Resultant parcel A portions of resultant parcel B do not have access to an improved public road. The proponent will be obligated to extend Kentfield Avenue to be consistent with the geometrics and pavement design of that portion of Kentfield Avenue that currently exists east of resultant parcel A. The particular pavement section would be 30 feet wide with concrete curb and gutter, of 5-inch of asphalt







on 10 inches of 21AA limestone with complete edge drain. This is consistent with the previous extension of Kentfield. It is suggested that in lieu of a "T" turnaround that the proponent extend Kentfield Ave to Tuck Road.

- 5. The ultimate right-of-way for Kentfield Avenue in this area is 60 feet. The current right-of-way is listed as 50 feet. It is unclear whether an additional five feet on the south side has been dedicated. If it is not, it must be dedicated at this time as part of the conditions of the split.
- 6. Once the above improvement has been made, our office will be in the position to sign off on the lot split. Note that for each resultant parcel, a proposed individual plot plan must be separately submitted for review and approval by the Engineering Division.



INTEROFFICE CORRESPONDENCE

DATE: October 4, 2024

TO: Planning Commission

FROM: Jason Baloga, Fire Marshal

SUBJECT: Lot Split 4-2024 (Kensington Gardens)

The Fire Department has no objection to approval of this lot split.

Jason Baloga, Fire Marshal

LAND DIVISION/COMBINATION HYD. W.M. THYD. HYD. KENTFIELD AVE. 55' R.O.W. W/CONC. C&G -N 8**7°25'46**" E 282.87 80.00 80.00 90.00 122.87 30, 307.74 23-35-402-053 ≥ 02.31 "C PARCEL "A' PARCEL "B" **PARCEL** 37,053 SQ. FT. 24,223 SQ. FT. 24,228 SQ. FT. z CONDOMINIUM 389 (REC. AS: 302.96 10 -402 - 05710 PARCEL 23-35 402 056 10 23-35-LOT 12 LOT LOT KIMBERLY GARDENS LIBER 35811, PAGE 10 PARCEL 302.96 02.41 ZONED RA-3 10 z 02.31'05" z 02.31 P.O.B. "B" P.O.B. "A" P.O.B. "C" 33 121.94 80.00' 80.00 90.00' М 281.94 S 87'28'35" W N 87°28'35" E UNIT 5 UNIT 6 UNIT 7 UNIT 4 246.80' KIMBERLY GARDENS CONDOMINIUM LIBER 35811, PAGE 389 02.46'13" I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE HEREON DESCRIBED PARCEL OF LAND; THAT THE RELATIVE POSITIONAL PRECISION 33.00 N 87"28'28" E **BEARING BASIS:** BEARINGS ARE BASED ON THE RECORDED BEARING OF THE NORTH OF THE CORNERS IDENTIFIED FOR THIS SURVEY AND SHOWN ON THE MAP ARE WITHIN THE LIMITS LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811, PAGE 389 O.C.R. 02'46'13" 1332.11' ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING; AND THAT THE REQUIREMENTS FOR 1970 PA 132, MCL 54.213 HAVE BEEN MET. **LEGEND** OF MIC S. 1/4 COR. SEC. 32 T. 1 N., R. 9 E. = 1/2"X18" RE-ROD SET WILLIAM = FOUND PIPE DONNAN = FOUND IRON = FOUND CONC. MONUMENT ROFESSIONAL 60 30 60 4001063483 POFESSIONA SCALE: 1 IN. = 60 FT. PREPARED FOR DATE: 09/05/24 'DONNAN, CROSSWINDS COURT, INC FB:162 DRAWN: LAND SURVEYING . ENGINEERING . MAPPING PROJ. NO: 21009 20592 CHESTNUT CIRCLE 32233 SCHOOLCRAFT, SUITE 103 (734) 953-3335 LIVONIA, MICHIGAN 48152 LIVONIA, MICHIGAN 48150 FAX (734) 953-3324 SHEET 1

LAND DIVISION/COMBINATION

ORIGINAL DESCRIPTIONS

ORIGINAL DESCRIPTION 23-35-402-056

PART OF LOT 11 AND ALL OF LOT 12 OF "KENSINGTON GARDENS SUBDIVISION" BEING A PART OF THE SE 1/4 OF SECTION 35, T. 1 N., R. 9 E. CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 17 OF PLATS, PAGE 16, O.C.R.

DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32; THENCE N 02'46'13" W 1332.11 FEET ALONG THE NORTH—SOUTH 1/4 LINE OF SECTION 32; THENCE N 87'28'28" E 33.00 FEET; THENCE N 02'46'13" W 332.74 FEET; THENCE N 87'28'35" E 246.80 FEET ALONG THE NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811, PAGE 389 TO THE POINT OF BEGINNING; THENCE N 02'41'41" W 302.65 FEET; THENCE N 87'25'46" E 192.87 FEET; THENCE S 02'31'05" E 302.81 FEET; THENCE S 87'28'35" W 191.94 FEET ALONG SAID NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM TO THE POINT OF BEGINNING. CONTAINING 58,246 SQUARE FEET.

ORIGINAL DESCRIPTION 23-35-402-057

PART OF LOTS 10 AND 11 OF "KENSINGTON GARDENS SUBDIVISION" BEING A PART OF THE SE 1/4 OF SECTION 35, T. 1 N., R. 9 E. CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBÉR 17 OF PLATS, PAGE 16. O.C.R.

DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32; THENCE N 02'46'13" W 1332.11 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 32; THENCE N 87'28'28" E 33.00 FEET; THENCE N 02'46'13" W 332.74 FEET; THENCE N 87'28'35" E 438.74 FEET ALONG THE NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811 PAGE 389 TO THE POINT OF BEGINNING; THENCE N 02'31'05" W 302.81 FEET; THENCE N 87'25'46" E 90.00 FEET; THENCE S 02'31'05" E 302.88 FEET; THENCE S 87'28'35" W 90.00 FEET ALONG SAID NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM TO THE POINT OF BEGINNING. CONTAINING 27,256 SQUARE FEET.

RESULTANT DESCRIPTIONS

PARCEL "A"

PART OF LOT 12 OF "KENSINGTON GARDENS SUBDIVISION" BEING A PART OF THE SE 1/4 OF SECTION 35, T. 1 N., R. 9 E. CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 17 OF PLATS, PAGE 16, 0.C.R.

DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32; THENCE N 02'46'13" W 1332.11 FEET ALONG THE NORTH—SOUTH 1/4 LINE OF SECTION 32; THENCE N 87'28'28" E 33.00 FEET; THENCE N 02'46'13" W 332.74 FEET; THENCE N 87'28'35" E 246.80 FEET ALONG THE NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811, PAGE 389 TO THE POINT OF BEGINNING; THENCE N 02'41'41" W 302.65 FEET; THENCE N 87'25'46" E 122.87 FEET; THENCE S 02'31'05" E 302.75 FEET; THENCE S 87'28'35" W 121.94 FEET ALONG SAID NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM TO THE POINT OF BEGINNING. CONTAINING 37,053 SQUARE FEET.

PARCEL "B"

PART OF LOTS 11 AND 12 OF "KENSINGTON GARDENS SUBDIVISION" BEING A PART OF THE SE 1/4 OF SECTION 35, N., R. 9 E. CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 17 OF PLATS, PAGE 16, O.C.R.

DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32; THENCE N 02°46'13" W 1332.11 FEET ALONG THE NORTH—SOUTH 1/4 LINE OF SECTION 32; THENCE N 87°28'28" E 33.00 FEET; THENCE N 02°46'13" W 332.74 FEET; THENCE N 87°28'35" E 368.74 FEET ALONG THE NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811 PAGE 389 TO THE POINT OF BEGINNING; THENCE N 02'31'05" W 302.75 FEET; THENCE N 87'25'46" E 80.00 FEET; THENCE S 02'31'05" E 302.82 FEET; THENCE S 87'28'35" W 80.00 FEET ALONG SAID NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM TO THE POINT OF BEGINNING. CONTAINING 24,223 SQUARE FEET.

PARCEL "C"

PART OF LOTS 10 AND 11 OF "KENSINGTON GARDENS SUBDIVISION" BEING A PART OF THE SE 1/4 OF SECTION 35, T. 1 N., R. 9 E. CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBÉR 17 OF PLATS, PAGE 16, O.C.R.

DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 32; THENCE N 02'46'13" W 1332.11 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 32; THENCE N 87'28'28" E 33.00 FEET; THENCE N 02'46'13" W 332.74 FEET; THENCE N 87'28'35" E 448.74 FEET ALONG THE NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM AS RECORDED IN LIBER 35811 PAGE 389 TO THE POINT OF BEGINNING; THENCE N 02'31'05" W 302.82 FEET; THENCE N 87'25'46" E 80.00 FEET; THENCE S 02'31'05" E 302.88 FEET; THENCE S 87'28'35" W 80.00 FEET ALONG SAID NORTH LINE OF KIMBERLY GARDENS CONDOMINIUM TO THE POINT OF BEGINNING. CONTAINING 24,228 SQUARE FEET.

ARPEE/DONNAN, INC.

LAND SURVEYING . ENGINEERING . MAPPING 32233 SCHOOLCRAFT, SUITE 103 (734) 953-3335

LIVONIA, MICHIGAN 48150

FAX (734) 953-3324

PREPARED FOR

CROSSWINDS COURT, INC

20592 CHESTNUT CIRCLE LIVONIA, MICHIGAN 48152 DATE: 09/05/24 FB:162 DRAWN:

PROJ. NO: 21009

SHEET 2 OF

MINUTES

SPECIAL JOINT STUDY SESSION MEETING FARMINGTON HILLS CITY COUNCIL FARMINGTON HILLS PLANNING COMMISSION SEPTEMBER 16, 2024 – 6:00 P.M. FARMINGTON HILLS CITY HALL – COUNCIL CHAMBER

CALL MEETING TO ORDER

The Special Joint Study Session meeting of the Farmington Hills City Council was called to order by Mayor Rich at 6:00pm.

ROLL CALL/INTRODUCTIONS

Council Members Present: Aldred, Boleware, Bridges, Bruce, Dwyer, Knol, and Rich

Council Members Absent: None

Planning Commissioners Present: Aspinall, Brickner, Countegan, Mantey, Stimson, Varga, Ware,

and Trafelet

Planning Commissioners Absent: Grant

Others Present: City Manager Mekjian, City Clerk Lindahl, City Planner Perdonik,

Planning Consultant Bahm (Giffels Webster), City Attorney

Joppich

MASTER PLAN IMPLEMENTATION

- a. Background
- b. Priorities/Goals
- c. Next Steps

Background/Introduction

City Manager Mekjian explained that the objective of this meeting was to have a shared discussion with City Council and Planning Commission regarding implementation of the newly adopted Master Plan, including prioritizing zoning text amendments that will be necessary to implement the plan.

City Planner Perdonik led an opening discussion of the relationship between the Master Plan and the Zoning Ordinance.

- Without corresponding zoning regulations, the Master Plan remains largely unactionable.
- The current Zoning Ordinance is outdated and does not reflect the modern vision established in the Master Plan. Updating the zoning ordinance will bring the Master Plan to life.
- Tonight everyone will be asked to help define the highest priorities in terms of moving the Master Plan's vision forward, and to envision the regulatory framework that will accomplish this.

Draft amendments regarding five land uses

As a starting point, draft amendments have been provided regarding five specific land uses in the B-3 District, the City's prime commercial district. These uses impact the overall character of the City. They include:

- 1. Automobile repair
- 2. Drive-thru restaurants

City Council and Planning Commission Special Joint Study Session Minutes September 16, 2024 Page 2 of 4

- 3. Gasoline service stations
- 4. New and used vehicle sales
- 5. Vehicle washes

The draft amendments move these uses into the special land use category, allowing the City to have more control over dimensional and architectural standards, locations, and impact mitigation. All projects – including these uses, need to be quality projects.

Discussion: Flexibility vs. Restriction

While there appeared to be general agreement that the City was experiencing over-saturation of these automobile-based uses, concerns were raised about changing the ordinance to be too restrictive relative to market-driven business uses. Perhaps the focus should be on creating opportunities rather than limiting specific businesses.

It came out in discussion that major retailer Shell had announced it was closing 1,000 gas stations, shifting its focus and resources to expand services for EVs.

It was pointed out that gas stations were not actually mentioned in the Master Plan. Planning Consultant Bahm explained that addressing auto-related uses is consistent with the goals of the Master Plan, which emphasizes walkability as a key priority. By reviewing and adjusting the regulations around these uses, the City can ensure that the growth of such businesses does not conflict with the long-term vision for a walkable, pedestrian-friendly environment.

Consensus

After discussion, Mayor Rich summarized that there appeared to be majority – though not unanimous – support that the City did have enough of these uses, and in the case of gas stations, unless property already had a gas station on it at some point, the City should consider an ordinance that limited new authorizations. City Attorney Joppich pointed out that a developer could always request a PUD. The draft amendments were not creating a prohibition or a moratorium, but a different classification.

Focus on what the community desires

A common complaint among residents is the lack of full-service restaurants and gathering spaces in the City. Suggestions included:

- Grand River Corridor: Incorporate murals and public art to make the area more vibrant and walkable.
- Orchard Lake and 14 Mile Area: Pursue the creation of a social district. Provide walkable areas, especially as upscale apartments are being developed in the area.
- 12 Mile Corridor: Focus on reducing the amount of unused parking lots and consider mixed-use development. Potentially reduce the parking requirement for office use.
- The Zoning Ordinance can help drive market demand by creating an attractive environment for businesses, rather than simply reacting to market trends.
- Take advantage of place-making opportunities in conjunction with the County-sponsored Nine Mile Road walkability project.
- Create special business districts at intersections, focusing on landscaping and quality architectural design and materials.

City Council and Planning Commission Special Joint Study Session Minutes September 16, 2024 Page 3 of 4

Mixed-use zoning

Mixed-use zoning promotes the ideas just discussed, especially including walkability and placemaking. The Master Plan recommends mixed-use zoning in several locations, but the City does not have a mixed-use ordinance. Such an ordinance needs to be constructed in order to implement the vision of the Master Plan, especially along the 12-Mile Road corridor, where there is an opportunity to convert existing office space into residential units or mixed-use developments.

City Planner Perdonik agreed that the 12 Mile Corridor is well-positioned for mixed-use development, including multifamily developments along with the flexibility to permit restaurants and other uses to increase diversity in land use. Noting that there is a broader corridor study in process, an incremental step of allowing more uses in the OS-4 district via a text amendment, such as permitting higher density residential uses, would allow mutifamily housing conversions from office spaces as "by right" without needing an immediate zoning change. Developers may also want to add more density to sites by building additional structures in addition to converting existing ones.

Architectural standards

It was important to maintain high-quality architectural standards for any new developments or conversions. Conversions from office to residential must look intentional and not appear like a cheaply done project.

Affordable and workforce housing

The need for affordable and workforce housing was acknowledged, with a need to encourage middle-housing types (duplex/triplex/quadplex/cottage courts) as part of mixed-use development.

Year Round Walkability

Year-round walkability requires that snow be cleared in the winter, and sidewalks be cleared of overgrowth during the rest of the year. City Attorney Joppich will provide information as to City liability and the best way to achieve clear sidewalks year-round.

Summary of consensus items:

- There was broad consensus that mixed-use zoning is a top priority, and Council directed the
 Planning Commission to work with the City Attorney to begin to draft a mixed-use ordinance, with
 special attention paid to its applicability on the 12 Mile Corridor and within the Orchard Lake/14
 Mile area.
- There also appeared to be support for an ordinance amendment to permit uses by right in the OS-4 District such as multifamily, higher density development.
- While there was not complete unanimity, with Planning Commissioners Brickner and Countegan
 cautioning against adopting too restrictive ordinances, most participants appeared to agree that the
 City has reached saturation with gas stations and car washes, and certain other uses, and continued
 work on draft amendments to address this issue was supported.
- There was general agreement on the importance of requiring high-quality architectural standards for new developments and redevelopments, especially when converting office spaces to residential.

City Council and Planning Commission Special Joint Study Session Minutes September 16, 2024 Page 4 of 4

Prioritization Exercise:

Planning Consultant Bahm led participants in an interactive exercise where participants prioritized the areas within the 9 building blocks called out in the Master Plan that they believed were most important. These priorities will help guide future efforts and strategies for the City's development.

The suggestion was made to annually review progress, similar to the Council's goal-setting meetings. This would help ensure alignment between the Planning Commission and the City Council and allow them to assess whether resources and attention were being effectively allocated.

PUBLIC COMMENT

Pamela Gerard made comments regarding the importance of the Master Plan.

ADJOURNMENT

The study session meeting adjourned at 7:23pm.

Respectfully submitted,

Carly Lindahl, City Clerk

CITY OF FARMINGTON HILLS PLANNING COMMISSION MEETING 31555 W ELEVEN MILE ROAD FARMINGTON HILLS, MICHIGAN SEPTEMBER 19, 2024, 7:30 P.M.

CALL MEETING TO ORDER

The Planning Commission Regular Meeting was called to order by Chair Trafelet at 7:30 p.m.

ROLL CALL

Commissioners present: Aspinall, Brickner, Grant, Mantey (arr. 7:32pm), Trafelet, Varga, Ware,

Countegan, Stimson

Commissioners Absent: None

Others Present: Staff Planner Canty, Planning Consultant Tangari (Giffels Webster), Staff

Engineer Alexander, City Attorney Saarela

APPROVAL OF THE AGENDA

MOTION by Aspinall, support by Countegan, to approve the agenda as published.

Motion passed unanimously by voice vote.

PUBLIC HEARING

A. ZONING TEXT AMENDMENT 2, 2024

CHAPTER OF CODE: 34, Zoning Ordinance

PROPOSED AMENDMENT: Amend Zoning Ordinance to reclassify various principal permitted and special approval uses within the B-3, General Business District, and LI-1, Light Industrial District,

and to add and remove various use standards

ACTION REQUESTED: Set for public hearing

SECTIONS: 34-3.1.25, 34-3.1.29, 34-4.28, 34-4.31, 34-4.35, 34-4.36, and 34-

4.40

Staff Planner Canty and Planning Consultant Tangari provided introductory comments:

Purpose of the Amendment:

The amendment seeks to reclassify certain uses, moving them from allowed as a right to requiring special use approval, which requires a public hearing, input from the community, and a formal review and approval process by the Planning Commission. Affected uses include gas stations, drive-throughs, auto sales and car dealerships, and vehicle wash facilities.

The intent of the amendment is to give the Planning Commission and the public a greater role in shaping the development of these uses within the B-3 and LI-1 Districts. By requiring special approval, the amendment provides the opportunity to:

Set parameters for how these businesses operate and fit into the community

September 19, 2024

Page 2

- Ensure compatibility with surrounding uses
- Address concerns before final approval is granted
- Introduce additional regulatory oversight and shifts the districts in which some of these uses are allowed.

Staff Planner Canty summarized that the Amendment will allow both the Planning Commission and the public to have a say in how these developments proceed, enabling more control and flexibility as the Commission is able to shape the developments in ways that benefit the community.

Commission discussion

Commissioner Brickner pointed out instances where he felt the draft ordinance was contradictory, in that there were certain requirements for compliance, but meeting those requirements was extremely difficult. For instance:

Mandatory outdoor seating at drive-through restaurants

The requirement for outdoor seating at drive-through restaurants (Section 34-4.35) might limit the development of small drive-through establishments. There is a need for flexibility to accommodate modern uses such as drive-throughs rather than imposing unnecessary restrictions. This regulation could restrict smaller establishments.

In response, other Commissioners pointed out that the requirement for outdoor seating would accommodate non-motorists by providing a place to sit. The Master Plan emphasized the importance of walkability, and providing outdoor seating at drive-throughs could support this vision.

Automobile service centers and automobile repair

Regarding the orientation of service bay doors (Section 34-4.31), the draft language prohibits doors from facing residential areas or public roads, which could make it impossible to build service centers in many parts of the City. While the restrictions make sense in theory, they may be too stringent in practice, effectively limiting the ability to develop new automobile service facilities. Is this the intent?

Vehicle washes

The ordinance restricts vacuum and drying areas to the rear yard (Section 34-4.40) and requires a setback of 100 feet from residential districts, unless there is a separation by a major or secondary thoroughfare. Should ordinances be written that require a specific layout while also imposing restrictions that prevent compliance with that layout?

Gasoline service stations

The new requirement is to have only one driveway per street frontage (Section 34-4.28). Many gas stations operate with separate entrances and exits, and this restriction could pose challenges.

Commissioner Brickner said that while there were good ideas in the draft ordinance, he remained concerned that the new ordinances were too restrictive.

Commissioner Countegan agreed that portions of the draft ordinance might be too restrictive. However, the purpose of tonight's meeting was to set a public hearing, and he was ready to do that.

MOTION by Countegan, support by Stimson, that Zoning Text Amendment 2, 2024, which proposed to amend the Farmington Hills Code of Ordinances, Chapter 34, "Zoning," Article 3.0, "Zoning Districts," and Article 4.0, "Use Standards," Sections 34-3.1.25, 34-3.1.29, 34-4.28, 34-4.31, 34-4.35, 34.4.36, and 34-4.40, to reclassify various principal permitted and special approval uses, and to add and remove various use standards, be set for public hearing for the Planning Commission's next available regular meeting agenda.

Motion passed unanimously by voice vote.

B. PLANNED UNIT DEVELOPMENT 1, 2024, INCLUDING SITE PLAN 54-7-2024

LOCATION: 27815 and 28025 Middlebelt Road PARCEL I.D.: 22-23-11-477-013, -014, and -109

PROPOSAL: Construction of gasoline service station with drive-through

restaurant within RC-2, Multiple-Family Residential District

ACTION REQUESTED: Set for public hearing

APPLICANT: SkilkenGold Real Estate Development

OWNER: HRA Farmington Hills, LLC

Applicant presentation

Members of the development team present this evening included:

- Aman Walia, Alex Siwicki, and Kareem Amr from Sheetz
- Patrick Lennon, Honigman Law Firm

Aman Walia gave some background relative to Sheetz, including:

- Sheetz was founded in 1952 in Altoona PA, and has grown to 750 stores across 7 states, and remains family-owned and operated. Sheetz stores are open 24/7 year-round, offer a full kitchen with customizable food options, coffee bar, and convenience grocery store and snack items. Dining options include 30 indoor seats with free Wi-Fi. Drive-through technology eliminates the traditional squawk box by offering touch screen and online ordering.
- The building design uses high-quality materials, including four-sided brick exteriors and outdoor dining options.
- This site will receive an \$8.5M investment, much of which will benefit local contractors and workers.
- Sheetz will create 30-35 full-time jobs at this store, participate in charitable programs including food donation programs, and support Special Olympics and local schools.
 Employees receive a full line of benefits. Sheetz has been named one of the Top 100 Companies to Work For by Fortune Magazine, and Newsweek recognized Sheetz as the second-best retailer to work for in the US.

Alex Siwicki provided an overview of the proposed project, which included:

- A 6,139sf restaurant, convenience store, and fueling station, sitting on 3.8 acres at the northwest corner of Middlebelt and 12 Mile Roads.
- The site will have six fuel pumps for 12 fueling positions and a convenience drive-through.
 The fueling stations will provide a greater variety of fuel types than usually offered at fuel service centers.
- Building and site features will include:
 - High-quality building materials, including premium brick and enhanced perimeter landscaping.
 - Multiple pedestrian access points and bike racks.
 - In response to concerns from neighbors, the developers are adding a vinyl fence along the northern and western property lines and adjusting the landscaping to provide additional buffering.
 - A three-foot knee wall will be installed along the eastern and southern property lines.
 - Renderings showed the "top-notch" landscaping on the site.
- Other neighbor concerns:
 - One concern raised by the neighbors was the abundance of fuel and food options already available in Farmington Hills. Sheetz conducts extensive analytical research when selecting sites. The data indicates that the demand for fuel at this location is 88% higher and for food is 92% higher than the average across their 750+ locations in seven states, confirming the site's viability.
 - Regarding traffic impact, Sheetz is a traffic capture business, meaning most customers (75%) are already passing by, reducing the generation of new traffic.
 - Traffic studies are conducted to ensure the development will not cause significant traffic issues.
 - Regarding environmental safeguards,
 - Sheetz uses a robust fueling system with multiple redundancies to prevent leaks. All tanks have double walls and are monitored with electronic and mechanical sensors.
 - Sheetz performs four times the number of inspections required by the EPA.
 - EV charging stations are also being considered for the site, with infrastructure in place to accommodate future installations.
 - Regarding property value impact, Sheetz facilities are well-maintained, and their presence can help increase property values in the surrounding area due to the care taken in property upkeep.
 - Regarding noise, light, and air pollution:
 - Fencing and additional trees will buffer the noise for nearby residents
 - Lighting is designed to comply with city ordinances, ensuring no spillover beyond property lines.
 - The fueling system is designed to trap vapors, minimizing air pollution.
 - Regarding safety measures, Sheetz has a state-of-the-art security operations center, which monitors each site with over 60 high-definition cameras. Sheetz works closely with local police to ensure a strong presence and deter crime.
 - Regarding concerns that this facility will be a truck stop: The proposed site is not a truck stop. It will offer automobile diesel, but the flow rate and site layout make it unsuitable for semi-trucks.

Mr. Siwicki emphasized their ongoing communication with neighbors and how the site plan
has been modified in response to neighbor concerns. The team remains committed to
further adjustments as necessary to address any additional issues raised by the community.

Mr. Siwicki asked that the Planning Commission set their PUD request and site plan for public hearing.

Commission discussion

Commissioner Mantey asked for clarification on the claim that there is an 88% higher demand for gasoline in this area. Recent studies had shown Farmington Hills already has many gas stations compared to other communities in Metro Detroit, and he asked for more details on how the 88% figure was calculated.

Mr. Siwicki explained that the 88% figure comes from Sheetz's business intelligence team using proprietary algorithms, which he couldn't fully disclose. He emphasized that there is high demand in the area, and Sheetz will help address the supply side of that equation. He noted that according to their data, the immediate trade area has fewer fuel competitors than expected for the level of demand. When asked how many competitors they would expect, Mr. Siwicki offered to provide that information later.

Commissioner Mantey also questioned how Sheetz would manage different types of fuel with only a limited number of underground storage tanks (USTs). Mr. Siwicki clarified that the site would have six USTs—four 12,000-gallon tanks and two 15,000-gallon tanks—sufficient to meet the demand for different fuel types.

Consultant comments

Referencing his August 7, 2024 memorandum, Planning Consultant Tangari gave the background and review for this request to set this PUD and Site Plan for public hearing, focusing primarily on the Planning Commission's task to review certain elements of the plan and to consider areas where relief from the ordinance is being requested.

Planning Consultant Tangari noted the Commission that on June 20, 2024 the Commission had qualified the project for a PUD, with the condition that a traffic study be submitted with the site plan. The traffic study had not yet been received.

Planning Consultant Tangari reviewed outstanding issues, which included:

- Pedestrian access from parking areas to building entrances around the perimeter of the building are largely obstructed by the outdoor dining and planter areas. In addition, pedestrian striping should be added between gas pumps and the building entrance to enhance safety for those walking between the gas pumps and their vehicles.
- A truck template needs to be provided.
- It was not clear whether there is sufficient space for garbage vehicles to access the dumpster.
- The applicant should clarify the intent of the drum storage and proper handling of any hazardous substances on site.
- The prohibition against vehicle storage should be called out.

- 622 square feet of loading space was not identified on the plans.
- A zoning lot occupied by a drive-through use may not abut an RA district unless the district is separated from the lot by a major or secondary thoroughfare. The proposed development does not meet this standard. The Planning Commission shall consider proximity to adjacent residential in its review of the proposed development and drive-through use.
- Although the zoning ordinance does not limit excess parking, the Planning Commission may
 wish to discuss the proposed number of parking spaces. The Next 50 Master Plan highlights
 excessive parking and opportunities to reduce parking in the discussion of future land uses.
 Parking maximums are recognized as a goal to implement. This same discussion could be
 extended to the very wide maneuvering areas throughout the site.
- The site plan does not fully comply with the drive-through design standards. Half of the
 drive-through has a bypass lane, but the U-shaped section to the north lacks one, which
 could create circulation issues.
- The pickup space is located south of the drive-through window, and how this works
 logistically without a bypass lane was unclear. In the absence of a bypass lane, this space
 obstructs the flow of traffic and creates the potential for conflicts with oncoming traffic. The
 waiting space shall be relocated or removed. The stacking lane also crosses a maneuvering
 lane; clear signage must be provided indicating that the maneuvering lane may not be
 blocked by waiting vehicles.
- The stacking arrangement is not indicated on the plans.
- The wall mounted signs include two 16.52sf Sheetz logo signs and one 21.47sf "Made to Order" sign. The ordinance limits total wall sign area to 25sf in an RC district. In addition, in accordance with 34-5.5.3.B.ii.b, non-residential uses may only be permitted one wall sign when located in an RC district. Relief is needed to comply with the standards for wall signs.
- The applicant proposed three 13sf canopy signs (1' 7 5/8" x 8'). Canopy-mounted signs, referred to in the ordinance as flat awning signs, are not permitted in the RC Districts. Canopy sign letters shall be less than 8" and 80% of the total awning width; although the proposed Sheetz logo is less than 80% of the canopy width, the logo is taller than 8". Finally, canopy signs may not exceed the total wall sign allowance. Since the wall signs already exceed this allowance, the proposed canopy signs do not meet this standard. Relief is needed to allow the proposed canopy signs.
- The applicant proposes a freestanding monument sign with electronic price display and a Sheetz logo sign. The monument sign exceeds the height allowance and total freestanding sign area space. Sign illumination (in footcandles) shall be provided. The Planning Commission may grant relief to allow this sign, or the sign shall be prohibited.
- Landscaping comments are called out on pages 11-12 of the review letter.
- Additional screening of the UST vent stack along 12 Mile Road may be required by the Planning Commission. This is currently proposed to be screened by the 3' knee wall and a deciduous tree.
- Regarding walls and berms (34-5.15): When adjacent residential, a 6' wall is required for drive-in/fast food restaurant uses. No wall was provided along residential boundaries (north and west). The Planning Commission may grant a waiver from the wall requirement in accordance with 34-5.15.3.
- Exterior lighting standards as described on pages 13-14 of the review letter do not appear to be met.

• Regarding tree removal, specific trees proposed for removal are not identified in the tree inventory or on the plans. The six 3" caliper landmark tree replacements labeled in the tree chart are not shown in the plans. In addition, the tree inventory is not accompanied by the seal of a licensed landscape architect.

In summary, relief sought from ordinance standards includes:

- Permit gasoline station, convenience retail, and drive-through restaurant with outdoor dining in the RC-2 Zoning District
- b. Relief from the required drive-through bypass in the customer stacking/ordering area.
- c. Relief from the lighting requirements, including maximum height for an RC-2 District and lighting mounted on top or side of a canopy
- d. Relief from the sign requirements for wall signs, canopy signs, and freestanding signs. This includes:
 - i. Wall signs relief from total number of wall signs permitted, total sign area
 - ii. Canopy signs exception to allow a canopy sign in the RC district where such sign is not typically permitted, relief from the maximum letter height, relief from the total sign area
 - iii. Freestanding signs relief from the height for freestanding signs, relief from the total sign area

Additional Planning Commission considerations should include:

- a. Whether excess parking/pavement meets master plan goals
- b. Whether to prohibit the parking of motor vehicles or storage of trailers, as prohibited in the B1, B-3, or E-S Districts for Gasoline Stations.
- c. Whether additional clarification on the site illumination is needed to proceed due to likely need for relief.
- d. If the location adjacent to RA is acceptable, as such would not be permitted in a B-3 District under the drive-in standards which state, "The zoning lot occupied by such use may not abut an RA district unless the district is separated from the lot by a major or secondary thoroughfare"
- e. Whether the proposed 24-hour operations are compatible with surrounding residential uses/districts.
- f. Waiver for 6' wall adjacent to residential districts. While substantial landscaping is proposed/existing, no wall is included in the plans.
- g. Consider reducing the proposed color temperature of lighting fixtures.
- h. Waiver to allow excess lighting at the property line near drives to meet public safety goals.

Chair Trafelet indicated he was ready to entertain a motion.

MOTION by Ware, support by Grant, that PUD 1, 2024, including Site Plan 54-7-2024, submitted by SkilkenGold Real Estate Development, dated July 17, 2024, be set for public hearing at the November 21, 2024 Planning Commission meeting.

Motion passed unanimously by voice vote.

APPROVAL OF MINUTES

August 15, 2024, Special Meeting, and August 15, 2024, Regular Meeting

City of Farmington Hills Planning Commission Meeting September 19, 2024 Page 8

MOTION by Grant, support by Aspinall, to approve the meeting minutes of the August 15, 2024 Special Meeting and the August 15, 2024 Regular Meeting as submitted.

Motion passed unanimously by voice vote.

PUBLIC COMMENT

Public comment focused on the proposed Sheetz PUD and site plan.

Dion Degennaro, 28379 New Castle, raised concerns about the need for another gas station, noting there are already 9 gas stations within a square mile of this site offering similar services. He also expressed environmental concerns, specifically the effectiveness of the natural buffer and lack of clarity about its planning. He highlighted the potential negative impact of the detention pond on nearby homes, citing EPA studies that show the pond – containing runoff from gas station uses – could reduce property values by 3-10%.

Nassir Siddiqui, 29411 Middlebelt Road, questioned the reasoning behind the PUD classification, suggesting it is being used to avoid standard zoning requirements. He raised concerns about safety, mentioning a recent shooting at a Sheetz location in North Carolina and the potential for increased crime due to the store's 24/7 operations and as noted in recent testimony by Sheetz Vice President Gary Zimmerman. He noted that the US Equal Opportunity Commission is currently suing Sheetz for racially discriminating against blacks and other minorities.

Kathy Sterbling, Board member, Holly Hills HOA, voiced opposition to the PUD, citing concerns about pedestrian safety in an already busy area, and mentioned 24/7 light and noise pollution, and the existence of numerous gas stations and convenience stores nearby. She discussed the vulnerability of the water table, referencing a past issue with contamination in the area.

PG (Pamela Gerard) criticized Sheetz for an EEOC (Equal Employment Opportunity Commission) lawsuit related to racial discrimination, questioning how the company could promote inclusion while facing such accusations. She suggested that Sheetz should open a restaurant rather than another gas station and expressed concerns about oversaturation of gas stations in the area.

Ron Rayford, 29232 Wellington, stated that there is no shortage of gas stations in Farmington Hills and expressed doubts about the company's data showing high local demand. He highlighted concerns about increased traffic in an already congested area, especially during rush hours.

George Senawi, 29410 Orion Court, said that this gas station will be in his front yard, resulting in a loss of privacy. He was concerned about a loss in property value. He had collected 21 signatures from neighbors opposing this development.

PG, speaking again, reiterated opposition to the development, saying it is not a good fit for the area.

Tom Hagi, Chaldean Community Foundation, opposed the project, citing concerns about traffic and the potential for Sheetz to hurt local gas stations, many of which were owned by Chaldeans. He stated that

City of Farmington Hills Planning Commission Meeting September 19, 2024 Page 9

Sheetz's initial predatory pricing of less than market value will likely lead to the closure of nearby fuel stations, leaving abandoned gas stations in the area.

Mr. Yandora, resident, expressed support for Sheetz, having had positive experiences at their locations in other states. He described Sheetz as more than just a gas station, praising their overall business model and suggesting that concerns about the development are overblown.

TR Carr, resident, encouraged the Commission to consider the long-term impact of the development on the quality of life in the community. He suggested there may be better locations for Sheetz in Farmington Hills that would fit more appropriately with the city's economic development plans.

COMMISSIONER/STAFF COMMENTS

Commissioner Mantey raised a point of clarification regarding lighting standards, noting potential confusion about which ordinances the Planning Commission can grant leniency for. He recalled that the illumination at the property line falls under the nuisance ordinance, rather than a zoning ordinance, which limits the ability to grant relief.

ADJOURNMENT

MOTION by Aspinall, support by Ware, to adjourn the meeting.

Motion carried unanimously by voice vote.

The meeting was adjourned at 8:50pm.

Respectfully submitted, Kristen Aspinall Planning Commission Secretary

/cem